

THE CITY OF PLATTEVILLE, WISCONSIN

AMENDED COMMON COUNCIL AGENDA

PUBLIC NOTICE is hereby given that a regular meeting of the Common Council of the City of Platteville shall be held on Tuesday, April 25, 2023 at 6:00 PM in the Council Chambers at 75 North Bonson Street, Platteville, WI.

***Please note - this meeting will be held in-person.**

The following link can be used to view the livestream of the meeting:

<https://us02web.zoom.us/j/89465034744>

I. CALL TO ORDER

II. ROLL CALL

III. PUBLIC HEARING

1. Staff Presentation
 2. Applicant Statement
 3. Public Statements in Favor
 4. Public Statements Against
 5. Public Statements in General
 6. Council Discussion
 7. Close Public Hearing
 8. Common Council Action
- A. Ordinance 23-03 Zoning Amendment – Remove R-LO overlay district at 1135 Perry Drive [4/11/23]
- B. Resolution 23-06 Conditional Use Permit – Animal Shelter/Kennel at 500 E. Business Highway 151 [4/11/23]

IV. PRESENTATION - Annual Library Report

V. CONSIDERATION OF CONSENT AGENDA – The following items may be approved on a single motion and vote due to their routine nature or previous discussion. Please indicate to the Council President if you would prefer separate discussion and action.

- A. Council Minutes – 4/11/23 Regular and 4/18/23 Special
- B. Payment of Bills
- C. Appointments to Boards and Commissions
- D. Licenses
 1. Change of Agent- Kwik Trip Inc, Platteville (Edmund J Hill, Agent), for premises at 430 S Water Street (Kwik Trip 795)
 2. One-Year and Two-Year Operator License to Sell/Serve Alcohol
 3. “Class A” Combination License – Lisa Haas, Platteville, WI, for Premises at 130 Market Street (B.S.R. Boutique & Novelties)
- E. Permits
 1. Street Closing – Second Street from Main Street to Furnace Street and Mineral Street from Oak Street to Third Street for Annual Southwest Music Festival on Saturday, July 15 from 8:00 AM to Midnight by the Platteville Regional Chamber
- F. Proclamation – 2023 Arbor Day

VI. CITIZENS' COMMENTS, OBSERVATIONS and PETITIONS, if any – Please limit comments to no more than five minutes.

VII. REPORTS

- A. Board/Commission/Committee Minutes (Council Representative)
 - 1. Water and Sewer Commission (Daus, Kilian, Nickels) 2/8/23, 3/8/23

VIII. ACTION

- A. Resolution 23-07 to Authorize Release of Citations – Donisi Properties [4/11/23]

IX. INFORMATION AND DISCUSSION

- A. DNR Resolution for DNR Trail Grants
 - 1. Resolution 23-xx DNR Trail Grant – Phase 1
 - 2. Resolution 23-xx DNR Trail Grant – Phase 2
 - 3. Resolution 23-xx DNR Trail Grant – Phase 3
- B. Fire Station Discussion [4/20/23]
- C. **Resolution – CWF Loan 4419-11 Upgrade Emergency Generator**

X. ADJOURNMENT

***Please note - this meeting will be held in-person.**

Please click the link below to join the webinar to view the livestream:

<https://us02web.zoom.us/j/89465034744>

or visit zoom.us, select "Join a Meeting" and enter the Webinar ID: 894 6503 4744

Connect by phone:

877 853 5257 (Toll Free) or

888 475 4499 (Toll Free)

Webinar ID: 894 6503 4744

If your attendance requires special accommodation, write City Clerk, P.O. Box 780, Platteville, WI 53818 or call (608) 348-9741 Option 6.

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

COUNCIL SECTION: PUBLIC HEARING ITEM NUMBER: III.A.	TITLE: Rezoning to Remove Overlay District – 1135 Perry Drive	DATE: April 25, 2023 VOTE REQUIRED: ¾ of Members voting
PREPARED BY: Joe Carroll, Community Development Director		

Description:

The property at 1135 Perry Drive contains a single-family house that was recently purchased by the applicant. The applicant is a student at UW-Platteville and lives there with three other students. These residents had issues with their prior rental situation and needed to find an alternative location to live until they graduate in the spring of 2024. This is a temporary living situation for them, and the applicant plans on selling the property after he graduates.

The property is currently zoned R-1 Single Family Residential, and also has an R-LO Limited Occupancy Residential overlay district designation. With this designation, the property can be used as an owner-occupied residence, and as a rental property, but is limited to the number of unrelated individuals that can live on the property. The house can be occupied by any number of individuals that compose a family (as defined by the code), but it would be limited to a maximum of 2 individuals that are unrelated. This means that only 2 of the current occupants are allowed to live there. The applicant was not aware of this restriction when purchasing the property and is requesting to have the RLO overlay district designation removed, which would allow the property to be occupied by a maximum of 4 unrelated individuals, which would be the same as other R-1 properties. This would allow all four of the residents to remain living on the property.

When the R-LO district designation was adopted in 2012, it was based on a petition submitted by residents in the neighborhood. The designation only included the properties where the owner signed the petition and did not include any nearby or adjoining properties where the owner did not sign the petition. For this reason, there are gaps in the designation in various areas, including the adjacent property to the north of the applicant's property.

At the time the overlay district was created, the prevailing sentiment among the members of the Plan Commission and some of the Council was that the City shouldn't be forcing this designation on any property owner that didn't want it. For that reason, they didn't include any properties where the owner didn't sign the petition. Likewise, there was a similar sentiment among some that any owner that didn't want the overlay designation should be able to have it removed.

The neighborhood would prefer that the overlay district designation remain in place. The neighbors have submitted a protest petition related to the rezoning request. The petition has been signed by the owners of more than 20% of the land within 100 feet of the property. This petition requires that the zoning amendment shall not become effective except by the favorable vote of three-fourths of the members of the Common Council voting on the proposed change.

Budget/Fiscal Impact:

None

Recommendation:

The Plan Commission considered this request at the April 3rd meeting and recommended that the R-LO overlay district designation remain, but that the applicant be allowed up to 2 years to achieve compliance.

Staff has no concerns with the request to remove the R-LO designation. Staff also believes that the Plan Commission proposal is a good compromise and would agree with that recommendation.

Sample Affirmative Motion:

“Motion to approve the request to remove the R-LO overlay district designation from the property at 1135 Perry Drive.”

Alternative Motion: “Motion to keep the R-LO district designation in place for the property at 1135 Perry Drive but allow the owner up to 2 years to achieve compliance.”

Attachments:

- Staff Report
- Location Map
- Overlay Zone Map
- Plan Commission Minutes – 10/1/2012
- Petition
- Draft Ordinance

STAFF REPORT

CITY OF PLATTEVILLE

Community Planning & Development Department



Meeting Dates: Plan Commission – April 3, 2023
Common Council – April 11, 2023 (Information)
Common Council – April 25, 2023 (Action)

Re: Rezoning to remove overlay district

Case #: PC23-RZ01-04

Applicant: Devyn Dahlke

Location: 1135 Perry Drive

Surrounding Uses and Zoning:

Direction	Land Use	Zoning	Comprehensive Plan
Property in Question	Residential	R-1/RLO	Low Density Residential
North	Residential	R-1	Low Density Residential
South	Residential	R-1/RLO	Low Density Residential
East	Residential	R-1/RLO	Low Density Residential
West	Residential	R-1/RLO	Low Density Residential

I. BACKGROUND

1. The property at 1135 Perry Drive contains a single-family house that was recently purchased by the applicant. The applicant is a student at UW-Platteville and lives there with three other students. The property has an overlay district designation that includes a restriction limiting the occupancy to no more than 2 unrelated individuals. The applicant was not aware of this restriction when purchasing the property and is requesting to have the RLO overlay district designation removed.

II. PROJECT DESCRIPTION

2. The property is currently zoned R-1 Single Family Residential, and also has an R-LO Limited Occupancy Residential overlay zoning designation. With this designation, the property can be used as an owner-occupied residence, and as a rental property, but is limited to the number of unrelated individuals that can live there. According to the requirements of the R-LO designation, the house can be occupied by any number of individuals that compose a family (as defined by the code), but it would be limited to a

maximum of 2 individuals that are unrelated. This means that only 2 of the current occupants are allowed to live there.

3. In the R-LO Limited Occupancy Residential Overlay District, the definition of “family” is set forth below:

“Family” shall mean one of the following groups of individuals, but not more than one group at a time:

- (1) Any number of persons, all of whom are related to each other by blood, adoption, marriage, domestic partnership formed under Wis. Stats. 770, or legal guardianship, along with up to one (1) roomer or boarder not so related, living together in one dwelling unit as a single housekeeping entity; or
- (2) Not more than two (2) persons who are not related by blood, adoption, or marriage, living together in one dwelling unit as a single housekeeping entity; or
- (3) Two (2) unrelated individuals and any children of either or both of them living as a single-housekeeping unit.

For purposes of the definition of family, the term “related” shall mean a spouse, parent, child, stepchild, child of a parent in a domestic partnership, grandparent, grandchild, brother, sister, uncle, aunt, nephew, niece, great-grandparent, and great-grandchild, or a child, grandparent, grandchild, brother, sister, uncle, aunt, nephew, niece, great-grandparent, or great-grandchild of a person in a domestic partnership. The term “related” does not include other, more distant relationships such as cousins.

The definition of family includes up to two (2) guests if the guests live and cook together with the family in a single dwelling unit and do not pay rent or give other consideration for the privilege of staying with the family. The definition of “guest” under this section is defined as a person who stays with a family for a period of less than thirty days within any rolling one-year period and does not utilize the dwelling as a legal address for any purpose.

4. The applicant is requesting a change to the property zoning to remove the R-LO overlay zoning designation, which would allow the property to be occupied by a maximum of 4 unrelated individuals.
5. In the R-1 District, the definition of family is set forth below:

“Family” shall mean any one of the following groups of individuals, but not more than one group at a time: (a) Any number of persons, all of whom are related to each other by blood, adoption, marriage, legal guardianship, or domestic partnership formed under Wis. Stats. 770, along with up to two (2) roomers or boarders not so related, living together in one dwelling unit as a single housekeeping entity; (b) Not more than four (4) persons who are not related by blood, adoption, or marriage, living together in one dwelling unit as a single housekeeping entity; or (c) Two (2) unrelated individuals and any children of either or both of them living as a single-housekeeping unit. For purposes of the definition of family, the term “related” shall mean a spouse, parent, child, stepchild, child of a parent in a domestic partnership, grandparent, grandchild, brother,

sister, uncle, aunt, nephew, niece, great-grandparent, and greatgrandchild, or a child, grandparent, grandchild, brother, sister, uncle, aunt, nephew, niece, great-grandparent, or great-grandchild of a person in a domestic partnership. The term “related” does not include other, more distant relationships such as cousins. The definition of family includes up to two (2) guests if the guests live and cook together with the family in a single dwelling unit and do not pay rent or give other consideration for the privilege of staying with the family. The definition of “guest” under this section is defined as a person who stays with a family for a period of less than thirty days within any rolling one-year period and does not utilize the dwelling as a legal address for any purpose.

III. STAFF ANALYSIS

6. When the R-LO district designation was adopted in 2012, it was based on a petition submitted by residents. The designation only included the properties where the owner signed the petition and did not include any nearby or adjoining properties where the owner did not sign the petition. For this reason, there are gaps in the designation in various areas, including the adjacent property to the north of the applicant’s property.
7. At the time the overlay district was created, the prevailing sentiment among the members of the Plan Commission and Council was that the City shouldn’t be forcing this designation on any property owner that didn’t want it. For that reason, they didn’t include any properties where the owner didn’t sign the petition. Likewise, it was the sentiment that any owner that didn’t want the overlay designation could have it removed.

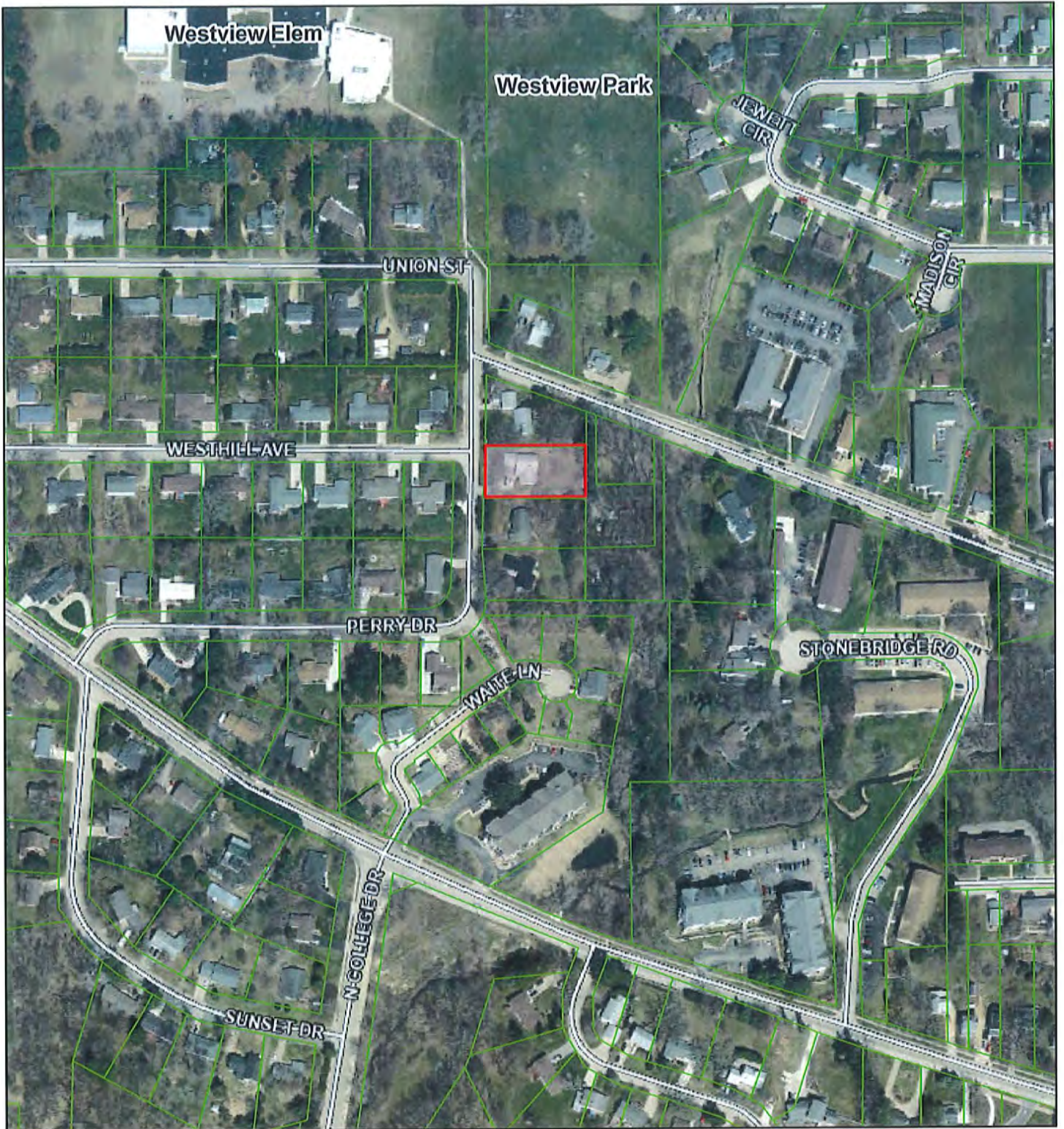
IV. STAFF RECOMMENDATION

8. Staff has no concerns with the request to remove the R-LO designation. This request conforms with the original intent when the overlay district was created.

ATTACHMENTS:

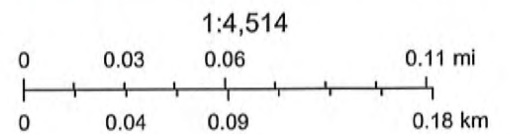
Location Map, Overlay Zone Map, Plan Commission Minutes – October 1, 2012

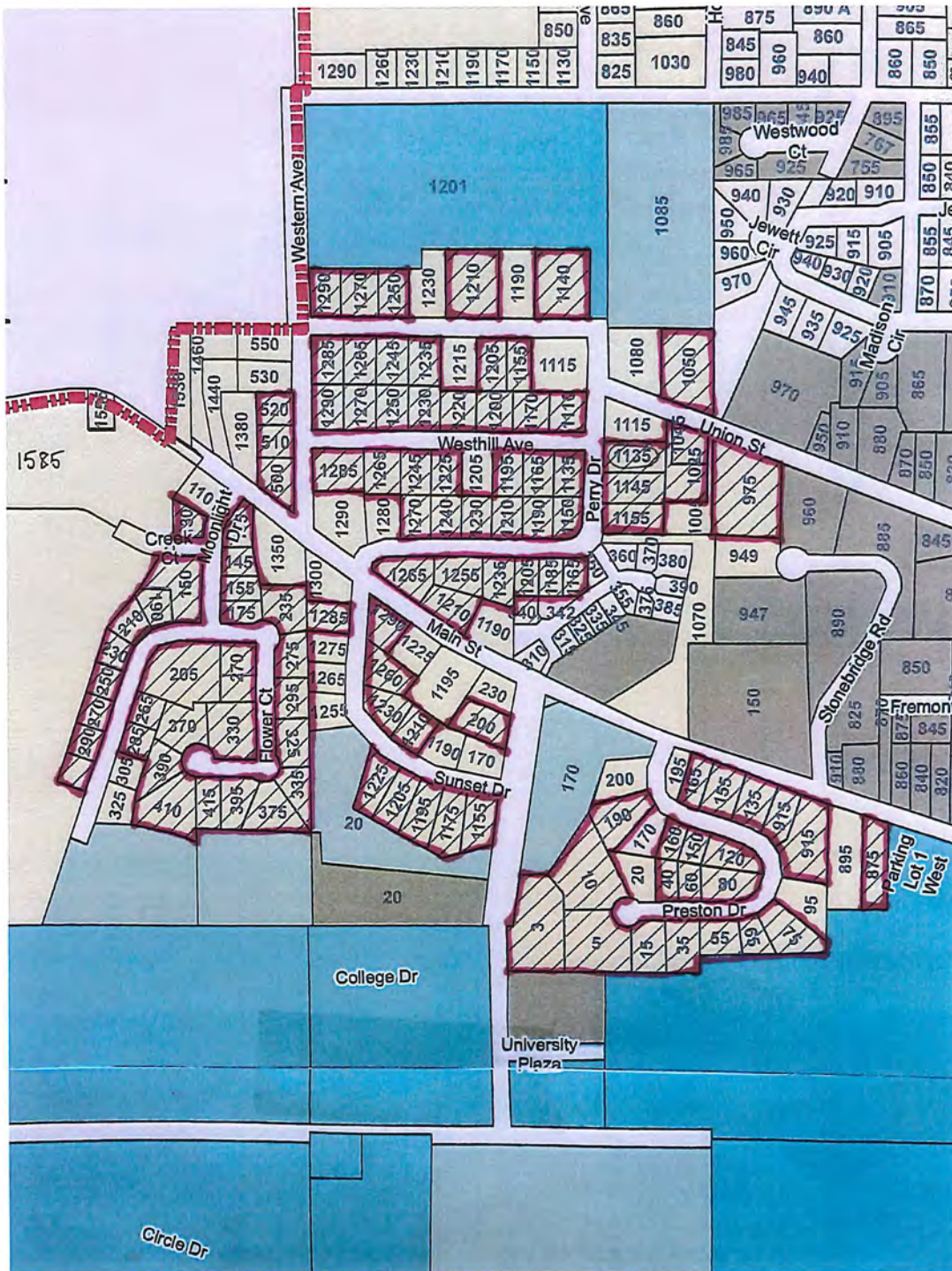
City of Platteville



3/17/2023, 10:04:05 AM



- Centerlines
- City Boundary
- Parcel Data (2022)
- Landmark Names





ZONING MAP

2019 Edition

-  Parcel Address
-  Future development
-  B1 - Neighborhood Business
-  B2 - Central Business
-  B3 - Highway Business
-  C1 - Conservancy
-  CBT - Central Business Transition
-  I1 - Institutional
-  M1 - Heavy Commercial/Light Industrial
-  M2 - Industrial
-  M3 - Industrial
-  M4 - Applied Technology
-  PUD - Planned Unit Development
-  R-LO - Limited Occupancy Residential Overlay
-  R1 - One Family Residential
-  R2 - One & Two Family Residential
-  R3 - Multi-Family Residential
-  Municipal Boundary

PLAN COMMISSION
Monday, October 1, 2012

The regular meeting of the Plan Commission of the City of Platteville was called to order by Chairperson Mike Dalecki at 7:00 p.m. in the Council Chambers of the Municipal Building.

ROLL CALL:

Present: Steve Becker, Chairperson Mike Dalecki, Tom Lindahl, John Miller, Gary Munson, Tom Nelson, and Karen Rogulja. Excused: Keith Buchert and Jane Leighty.

APPROVE MINUTES OF: September 10, 2012

Motion by Lindahl, second by Miller to approve the September 10, 2012 minutes with the corrected motions in A and B. Motion carried on a voice vote.

MOTION:

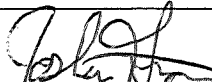
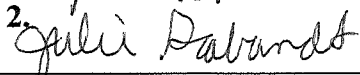


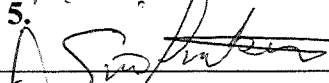

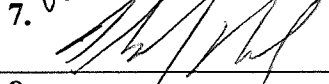

A. Rezoning – Limited Occupancy Residential Overlay District (RLO) (PC12-RZ02-24) –

Consider a request for a Limited Occupancy Overlay District designation for approximately 111 properties in the west Main Street area. Community Planning & Development Director Joe Carroll explained that a petition has been submitted from the owners of 111 properties requesting that the City rezone the properties to the RLO Limited Occupancy Residential Overlay District. All the properties being considered are currently zoned R-1 One-family Residential. The primary impact is that it reduces the maximum number of unrelated individuals that can live in a dwelling unit from 4 to 2. The existing underlying zoning requirements of the R-1 district will remain the same. Staff recommended approval. Plan Commission discussion clarified that properties in the area that chose not to be included in the petition would not be included in the overlay zoning and that the overlay zoning designation would stay with the property unless the owner petitioned to remove the designation. Public statements in favor included Rita Elver of 5 Preston Dr, Sylia Kurowski of 1230 Perry Dr, John Duesbury of 40 Preston Dr, and Gene Weber of 1285 Union St. Evelyn Duesbury of 40 Preston Dr and Judy Kundert of 335 Flower Ct, registered in favor. No public statements against or in general. Motion by Lindahl, second by Munson to approve the proposed rezone of 111 parcels in the west Main Street area to the RLO Limited Occupancy Residential Overlay District as presented. Motion carried 5-1 on a roll call vote with Rogulya voting against.

- B. & C. Rezoning – 250 E Main Street (PC12-RZ01-23) –** Consider approval of a request to rezone the property at 250 E Main Street from B-2 Central Business District to CBT Central Business Transition District and **Conditional Use Permit – 250 E Main Street (PC12-CUP05-25) –** Consider approval of a request for a Conditional Use Permit to allow a portion of the ground floor space at 250 E Main Street to be used for residential use. Community Planning & Development Director Joe Carroll explained that the property is a combination of commercial and residential space located in the B-2 Central Business District which allows residential use in conjunction with commercial, but not residential use of the ground floor. The building has four residential apartments on the second floor. The first floor and basement of the building are currently vacant and the applicant would like to convert the basement and approximately half of the first floor space to residential use. This action requires the property be rezoned to CBT Central Business Transition and also requires approval of a Conditional Use Permit (CUP). The CBT district allows the proposed residential on the ground floor as a conditional use. The CBT district also has minimum parking requirements depending upon the final number of bedrooms and the area of the commercial space, whereas the current zoning does not. Staff's opinion is that the current location of the property right on Main Street and adjacent to other commercial uses seems to be more compatible with the B-2 district rather than the CBT district. The proposed

PROTEST PETITION

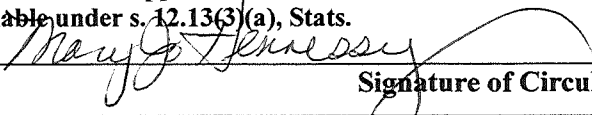
I, the undersigned, a property owner adjacent to 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	Joshua Grabandt	1135 Westhill Ave	Platteville WI	3/27/23
2. 	Julie Grabandt	1135 Westhill Ave	Platteville WI	3/27/23
3. 	JOE KRATCHA	1110 PERRY DR	PLATTEVILLE, WI	3/27/23
4. 	Renae Kratcha	1110 Perry Drive	Platteville, WI	3/27/23
5. 	Srer Jenkins	1145 Perry Dr	Platteville WI	3/27/23
6. 	Dallas Bernhardt	1045 Union St	Platteville WI	3/27/23
7. 	Tom Nickels	1135 Perry Dr.	Platteville WI	3/27/23
8. 	Ashley Bernhardt	1045 Union St	Platteville WI	3/28/23
9.				
10.				

Certificate of Circulator

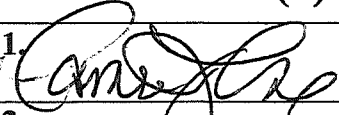



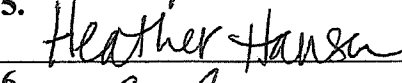
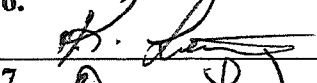


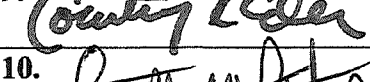

I, MARY Jo Hennessey, certify:
 I reside at 1195 Westhill Ave Platteville, WI 53818. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 3/28/23


 Signature of Circulator

PROTEST PETITION

I, the undersigned, a property owner adjacent to 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	Tamara Fox	1210 Perry Dr.	Platteville WI	4/8/23
2. 	Melody Kopper	1255 Perry Dr.	Platteville, WI	4/8/23
3. 	Paul Farra	1260 Sunset Dr.	Platteville, WI	4/8/23
4. 	Phillip Hansen	1240 Perry Dr.	Platteville, WI	4/10/23
5. 	Heather Hansen	1240 Perry Dr.	Platteville, WI	4/10/23
6. 	Kathleen Letch	1210 W. Main St.	Platteville WI	4/10/23
7. 	Dan Letch	1210 W. Main St.	Platteville WI	4/10/23
8. 	MATTHEW ELLMAN	1230 SUNSET ST	PLATTEVILLE WI	4/10/23
9. 	Courtney Ellman	1230 SUNSET DR	Platteville WI	4/10/23
10. 	Scott Whitney	1210 Sunset Dr.	Platteville, WI	4/10/23

Certificate of Circulator

I, Sylvia Kurawski, certify:
 I reside at 1230 Perry Dr. Platteville WI. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date April 11, 2023

Signature of Circulator Sylvia Kurawski

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. <i>Sharon Klevins</i>	Sharon Klevins	1210 Sunset Dr.	Platteville, WI	4/10/23
2. <i>E. Gates</i>	Elizabeth Gates	1205 Sunset Dr.	Platteville WI	4/10/23
3. <i>Jay Dykstra</i>	Jay Dykstra	1195 Sunset	Platteville WI	4/10/23
4. <i>Ken Beighley</i>	Ken Beighley	1155 Sunset	Platteville, WI	4/10/23
5. <i>Donald Hastert</i>	Donald Hastert	1285 Sunset	Platteville, WI	4/10/23
6. <i>Marilyn Hastert</i>	Marilyn Hastert	1285 Sunset	Platteville, WI	4/10/23
7. <i>Larry Kurowski</i>	LARRY KUROWSKI	1230 PERRY DR.	PLATTEVILLE, WI	4/11/23
8. <i>Sylvia Kurowski</i>	Sylvia Kurowski	1230 Perry Dr.	Platteville, WI	4/11/23
9. <i>Mary Karen Rundell</i>	Mary Karen Rundell	1270 Perry Dr.	Platteville WI	4/11/23
10. <i>Richard F. Rundell</i>	RICHARD F. RUNDSELL	1270 PERRY DRIVE	PLATTEVILLE, WI	4/11/23

I, Richard F. Rundell **Certificate of Circulator**
RICHARD F. RUNDSELL certify:
 I reside at 1270 PERRY DRIVE, PLATTEVILLE, WI. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4/11/2023

Signature of Circulator

Richard F. Rundell

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. <i>Gene Weber</i>	Gene Weber	1285 Union St	Platteville, WI	APR 7, 2023
2. <i>Amanda B Weeden</i>	Amanda Weeden	1205 Union St.	Platteville, WI	April 7, 2023
3. <i>Don Weeden</i>	Don Weeden	1205 Union St	Platteville, WI	April 7, 23
4. <i>Amy Coffey</i>	Amy Coffey	1230 Union St.	Platteville, WI	April 7, 2023
5. <i>Terri L. Ellis</i>	Terri Ellis	1245 Union St.	Platteville, WI	April 7, 2023
6. <i>Debra Meis</i>	Debra Meis	1265 Union St	Platteville, WI	April 7, 2023
7. <i>Angela Kamps</i>	Angela Kamps	1290 Union St	Platteville, WI	4/7/23
8. <i>Mark Gottschall</i>	Mark Gottschall	1210 Union St	Platteville WI	4/7/23
9. <i>Steve Coffey</i>	STEVE COFFEY	1230 UNION ST	PLATTEVILLE WI	4/7/23
10. <i>Josephine Kischer</i>	JOSEPHINE KISCHER	1250 UNION ST.	PLATTEVILLE, WI	4/10/23

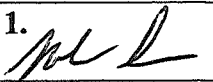
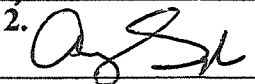
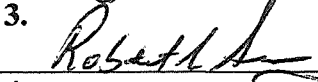
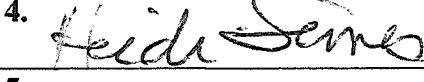

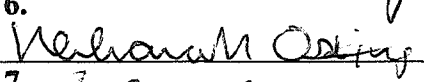

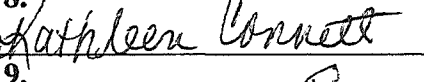
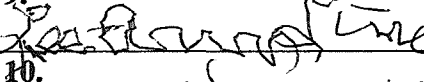

Certificate of Circulator

I, Gene Weber certify:
 I reside at 1285 Union, Platteville, WI. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4/11/2023 Signature of Circulator Gene Weber

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).


SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	John Spohn	155 Moonlight Dr	Platteville WI	4/9/23
2. 	Amy Spohn	155 Moonlight Dr.	Platteville WI	4/9/23
3. 	Ron Ferrer	145 Moonlight Dr	Platteville WI	4/9/23
4. 	Heidi Serras	145 Moonlight	Platteville	4-10-23
5. 	TOM OSTING	150 Moonlight	Platteville	4-10-23
6. 	Deborah Osting	150 Moonlight Dr	Platteville	4-10-2023
7. 	John Connert	110 Moonlight Dr	Platteville	4/11/23
8. 	KATHLEEN CONNETT	110 Moonlight Dr	Platteville	4/11/23
9. 	LeAnn	1135 Perry Dr 245 Flower Dr	Platteville	4/11/23
10. 	Kathy Neumeister	375 Flower	Platteville	4/11/23

Certificate of Circulator

I, THOMAS OSTING, certify:
 I reside at 150 Moonlight. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4-11-2023

Signature of Circulator



PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. <i>Bonnie Vaassen</i>	Bonnie Vaassen	1170 Westhill Ave	Platteville WI	4/9/23
2. <i>Terry Vaassen</i>	Terry Vaassen	1170 Westhill Ave	Platteville WI	4-9-23
3. <i>Dwight Nelson</i>	DWIGHT NELSON	1270 Westhill Ave	Platteville, WI	4/9/23
4. <i>Diane Nelson</i>	DIANE NELSON	520 Western Ave	Platteville, WI	4/9/23
5. <i>Carl G. Rutman</i>	Carl G. Rutman	1146 Union St	Platteville WI	4/10/23
6. <i>Judy Calcaterra</i>	Judy Calcaterra	1265 Westhill	Platteville WI	4/10/23
7. <i>Robert Calcaterra</i>	Robert Calcaterra	1265 Westhill Av	Platteville WI	4/10/23
8. <i>Erica Siegl</i>	ERICA SIEGL	1205 Westhill Ave	Platteville, WI	4/10/23
9. <i>Jay Gesin</i>	Jay Gesin	1205 Westhill Ave	Platteville, WI	4/10/23
10. <i>Mariko Kurobe</i>	MARIKO KUROBE	530 Western Ave	Platteville, WI	4/10/23

Certificate of Circulator

I, *Mary Jo Hennessy*, certify:
 I reside at *1195 Westhill Ave Platteville, WI*. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date: *4/11/23*

Mary Jo Hennessy
 Signature of Circulator

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. <i>Mary Jo Hennessy</i>	Mary Jo Hennessy	1195 Westhill Ave	Platteville, WI	4/7/23
2. <i>Carol Balbach</i>	Carol Balbach	500 Western Ave	Platteville WI	4/7/23
3. <i>Jerry Selleck</i>	JERRY SELLECK	1250 WESTHILL	PLATTEVILLE, WI	4/7/23
4. <i>Joyce Selleck</i>	Joyce Selleck	1250 Westhill Ave	Platteville, WI	4/7/23
5. <i>Joyce F. Wisnewski</i>	Joyce F. Wisnewski	1200 Westhill Ave	Platteville, WI	4/8/2023
6. <i>Rachel Culbertson</i>	Rachel Culbertson	1165 Westhill Ave	Platteville, WI	4-8-2023
7. <i>Ken Culbertson</i>	Ken Culbertson	1165 Westhill Ave	Platteville, WI	4-8-2023
8. <i>Glen Balbach</i>	GLEN BALBACH	500 WESTERN AVE	PLATTEVILLE, WI	4-8-2023
9. <i>Cindy Fritz</i>	Cindy Fritz	1285 Westhill Ave	Platteville, WI	4/8/2023
10. <i>Gary Fritz</i>	GARY FRITZ	1088 Westhill Ave	Platteville, WI	4/8/2023

Certificate of Circulator

I, Mary Jo Hennessy, certify:

I reside at 1195 Westhill Ave. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

4-8-23

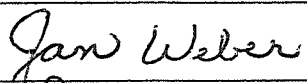

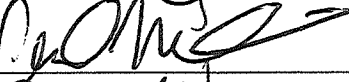
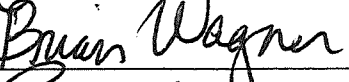

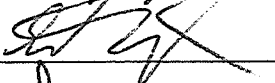
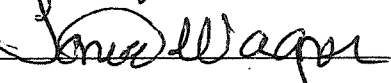
Date

Signature of Circulator

Mary Jo Hennessy

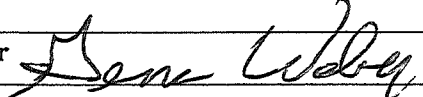
PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	Jan Weber	1285 Union	Platteville, WI	4/7/2023
2. 	Deb Quinn	975 Union	"	4/10/23
3. 	Onrissa Martin	1080 Union	"	4/10/23
4. 	Brian Wagner	1155 Union	Platteville WI	4/10/23
5. 	Reddy Kumpf	1290 Union	Platteville	4/10/23
6. 	Steve Yuck	1270 Union	Platteville	4/10/23
7. 	Tonia Wagner	1155 Union St	Platteville	4/10/23
8.				
9.				
10.				

Certificate of Circulator

I, Gene Weber, certify:
 I reside at 1285 Union, Platteville, WI. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4/11/2023 Signature of Circulator 

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. <i>Konner Stremblau</i>	Konner Stremblau	530 Western Ave	Platteville, WI	4/10/23
2. <i>Charles W. Hoffman</i>	Charles W. Hoffman	1105 Westhill Ave	Platteville, WI	4/10/23
3. <i>Kelly Jo Hadfield</i>	Kelly Jo Hadfield	1230 Westhill Ave	Platteville WI	4/11/23
4.				
5.				
6.				
7.				
8.				
9.				
10.				

Certificate of Circulator

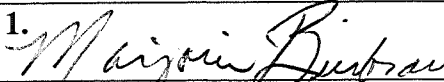
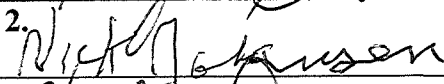

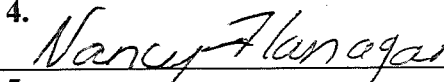

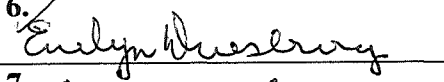
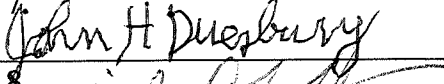
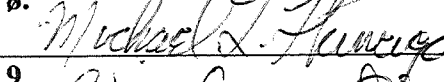
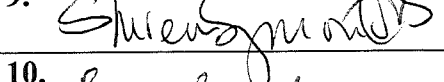
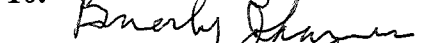
I, *Mary Jo Hennessy*, certify:
 I reside at *1135 Westhill Ave Platteville WI*. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

4/11/23
Date


Mary Jo Hennessy
Signature of Circulator

PROTEST PETITION

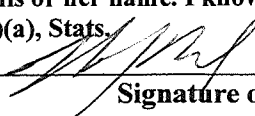
I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
	Margari Bierbraue	160 Preston Dr	Wisconsin	4/12/23
	NICK JOHANSEN	170 Preston Dr	Platteville	4/12/23
	Harold A Daus	135 Preston Dr	Platteville Wisconsin	4/12/23
	Nancy Flanagan	65 Preston Dr	Platteville WI	4/12/23
	Rick Brodzik	55 Preston Dr	Platteville, WI	4/12/23
	Evelyn Duesbury	40 Preston Dr.	Wisconsin	4/12/23
	John Duesbury	40 Preston Dr.	Wisconsin	4/12/23
	Michael L. Flanagan	65 Preston Dr	Platteville WI	4-12-23
	Shireen Symonds	190 Preston Dr.	Platteville WI	4/12/23
	Beverly Johansen	170 Preston Dr.	Platteville WI	4/12/23

Certificate of Circulator

I,  Thomas J Nickols, certify:
 I reside at 1115 Perry DR Platteville WI 53818. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4-18-23


 Signature of Circulator

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. <i>Chris J. Schlenberg</i>	Chris Schlenberg	120 Preston Drive	Platteville, WI	4/12/23
2. <i>Javed Cullen</i>	Javed Cullen	60 Preston Dr.	Platteville, WI	4/12/23
3. <i>Samantha Vaassen</i>	Samantha Vaassen	10 Preston Dr	Platteville, WI	4/12/23
4. <i>Douglas W. Stephens</i>	DOUGLAS W. STEPHENS	10 PRESTON DR.	PLATTEVILLE, WI	4/12/23
5. <i>Tammy Salmon-Stephens</i>	Tammy Salmon-Stephens	10 PRESTON DR	Platteville, WI	4/12/23
6.				
7.				
8.				
9.				
10.				

Certificate of Circulator




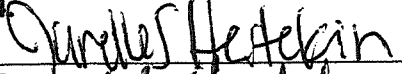

I, Thomas J. Prokats, certify:
 I reside at 1135 Perry Dr. Platteville WI 53818. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4-18-23

Thomas J. Prokats
 Signature of Circulator

PROTEST PETITION

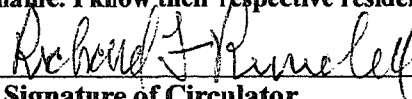
I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	Kim Pulkaback	1235 Perry Dr	Platteville WI	4/18/23
2. 	John Pulkaback	1235 Perry Drive	Platteville, WI	4/18/23
3. 	RJ Neumeister	1135 1165 Perry	Platteville	4/18/23
4. 	Janelle Skayin Hestekin	1190 Perry Drive	Platteville	4/18/23 4/18/23
5. 	Kyle Hestekin	1190 Perry Drive	Platteville	4/18/23
6.				
7.				
8.				
9.				
10.				

Certificate of Circulator



I, RICHARD F. RUNDLELL, certify: PLATTEVILLE, WI
 I reside at ~~RICHARD F. RUNDLELL~~ 1270 PERRY DR.. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4/18/2023


 Signature of Circulator

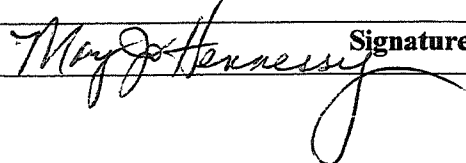
PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	Ronald Rush	510 Western Ave.	Platteville WI	4-17-23
2. 	Vanessa Rush	510 Western Ave	Platteville, WI	4.17.23
3.				
4.				
5.				
6.				
7.				
8.				
9.				
10.				




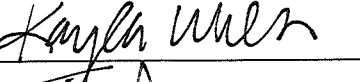
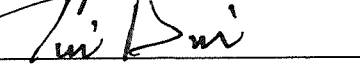
Certificate of Circulator

I, Mary Jo Hennessy, certify: I reside at 195 Westhill Ave. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4/17/23  Signature of Circulator

PROTEST PETITION

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. 	Barbara Deis	115 Moonlight Dr.	Platteville, WI	4/11/23
2. 	James Klein	205 Moonlight Dr.	Platteville, WI	4/11/23
3. 	Lucas Wilson	730 Moonlight Dr.	Platteville WI	4/15/23
4. 	Kayla Wilson	130 Moonlight Dr.	Platteville, WI	4/15/23
5. 	Tim Deis	115 Moonlight Dr.	Platteville WI	4/15/23
6.				
7.				
8.				
9.				
10.				

Certificate of Circulator

I, THOMAS OSTING, certify:
 I reside at 150 MOONLIGHT DR PLATTEVILLE, WI. I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.

Date 4-18-2023 Signature of Circulator Thomas Oosting

Colette Steffen

From: Nicola Maurer
Sent: Wednesday, April 19, 2023 9:16 AM
To: Colette Steffen; Candace Klaas
Subject: FW: Overlay District - 1135 Perry Drive

Input on the overlay district.

From: Barbara Daus <barbaradaus@platteville.org>
Sent: Tuesday, April 18, 2023 7:07 AM
To: Nicola Maurer <maurern@platteville.org>; Joe Carroll <carrollj@platteville.org>
Subject: Fwd: Overlay District - 1135 Perry Drive

Barbara Daus

From: Brian & Tonia Wagner <wagner4@centurytel.net>
Sent: Monday, April 17, 2023 9:26:31 PM
To: Barbara Daus <barbaradaus@platteville.org>; Todd Kasper <kasperplatt98@yahoo.com>; Kenneth Kilian <kenkilian@platteville.org>; Kathy Kopp <kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>; Jason Artz <jasonartz@platteville.org>
Subject: Overlay District - 1135 Perry Drive

Caution: This email is from an external source.

Good evening,

As a resident of the Overlay District on the west side of town, I wanted to share my concerns with the request to remove the Overlay designation from 1135 Perry Dr.

As a resident of this district, there was a great deal of research, time and energy devoted to obtaining the Overlay status. Of course the ultimate goal was to preserve the residential feel and to not have it turn into a rental neighborhood. If you drive through this area, you will see that for the past 10 years, the Overlay district has successfully worked.

When I learned that there was a request to remove the Overlay designation from 1135 Perry Dr., I was concerned. I patiently listened to the information from our neighbors, the Planning Commission and the presentations at the April 11 Common Council meeting. In my opinion, the Overlay designation needs to be upheld for the following reasons:

1. It's the zoning designation for that residence. It hasn't been lifted for other properties and should not be for this one.
2. If there is a variance allowed for this property, then a precedence will be set for any future real estate transactions which would ultimately undermine the principal behind the Overlay district.
3. Due diligence – I am sensitive to the fact that the homeowner was unaware of the Overlay designation. **However, this is 100% an issue between the realtor and the homeowner.** The Common Council should not have to remedy this error.
4. As a parent of college aged students myself, I am also sensitive to the fact that the homeowner felt the need to leave his current rental and find housing elsewhere. However, he clearly stated he is not charging rent to his

roommates. Therefore, abiding by the Overlay should not be a financial hardship for him should he choose to remain in the home.

I appreciate your time and service. I can imagine that you receive numerous inquiries and requests weekly.

Thank you for your consideration,

Tonia Wagner
1155 Union St.
Platteville, WI 53818
608 348 2322

From: Robert J Brodbeck <rbrodbeck@centurytel.net>

Sent: Wednesday, April 12, 2023, 9:36 PM

To: Barbara Daus <barbaradaus@platteville.org>; Eileen Nickels <eileennickels@platteville.org>; Todd Kasper <kasperplatt98@yahoo.com>; Kenneth Kilian <kenkilian@platteville.org>; Kathy Kopp <kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>; Jason Artz <jasonartz@platteville.org>

Cc: jefitz1@centurylink.net <jefitz1@centurylink.net>

Subject: Regarding the Limited Occupancy Overlay District

Caution: This email is from an external source.

Dear Platteville City Council members:

Because I won't be able to attend next week's council meeting in person or online, I am providing you with this email. I attended the April 11, 2023, council meeting and want to go on record to oppose the removal of the current overlay district on residential properties located in the westside of Platteville neighborhoods. In my opinion, those who spoke against the removal of the overlay articulated sound justifications for retaining it. Additionally, I do not believe it is appropriate to make a limited time exception for the 1135 Perry Drive residence. Although, I feel bad for the new property owner's situation, his problem isn't with the city, but rather rightfully resides with the real estate agent who failed to divulge the overlay district. That is not an issue or responsibility for the city to address or resolve.

I urge you to vote no to lifting the overlay district, and not to proceed with a variance. To do otherwise will set a bad precedent in addition to being unjust to many for the sake of one.

I want to share two noteworthy points that are somewhat related to this matter. First, last night there was a brief mention of the lack of student housing. It's my understanding that UW-P currently has no less than two empty dorms and, thus, there is not a lack of on campus student housing. Second, based on what I understand from speaking with the manager of Stonebridge Apartments, Jeff Fitzgerald, the city currently has a zoning enforcement issue that needs to be addressed. I'm referring to the 949 Stonebridge Road residence that is zoned R-1 but, according to Jeff, has 6 to 7 unrelated individuals living there. If that's correct, this needs to be addressed because it's a clear violation of Platteville's zoning ordinance.

In addition, Jeff can attest to there being cars towed in and out of the before-noted property for repairs. On occasion, cars are parked in the yard on the westside of the house. An auto salvage truck has picked up parts once to twice a year. Here again, if this is the case, not only is that residence's owner in violation of R-1 zoning but he's operating an unlicensed business. I encourage you to investigate this matter again. I note 'again' because Jeff said the city was made aware of this situation over two years ago but no action was taken. Assuming Mr. Fitzgerald is correct, which is likely because he lives close to 949 Stonebridge, he observes first-hand and receives Stonebridge Apartment tenants' noise complaints resulting from that residence, I ask that any zoning violation(s) be addressed.

Thank you.

Respectfully,

Bob Brodbeck
55 Preston Dr.
Platteville
(608.348.9642)
Cc: Jeff Fitzgerald

Colette Steffen

From: Nicola Maurer
Sent: Monday, April 24, 2023 8:07 AM
To: Colette Steffen; Candace Klaas
Subject: FW: Overlay district

From: Barbara Daus <barbaradaus@platteville.org>
Sent: Sunday, April 23, 2023 10:01 PM
To: Nicola Maurer <maurern@platteville.org>
Subject: Fwd: Overlay district

Barbara Daus

From: Deb Osting <debbdoster@yahoo.com>
Sent: Sunday, April 23, 2023 7:39:34 PM
To: Barbara Daus <barbaradaus@platteville.org>; Todd Kasper <kasperplatt98@yahoo.com>; Kenneth Kilian <kenkilian@platteville.org>; Kathy Kopp <kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>; Jason Artz <jasonartz@platteville.org>
Subject: Overlay district

Caution: This email is from an external source.

Hello,

I live within the Overlay district that will be voted on at the 4/25/2023 council meeting. I urge you to support our efforts to keep the district intact. Having a single family neighborhood so close to the University and the downtown area has been an asset to the city. We have lawns, not cemented or graveled yards, low traffic, few noise issues, no parking problems and our neighborhood is bike and walking friendly. Please vote to keep it that way.

Deb Osting
150 Moonlight Dr

Colette Steffen

From: Nicola Maurer
Sent: Monday, April 24, 2023 8:41 AM
To: Colette Steffen; Candace Klaas
Subject: FW: Overlay for Preston Drive neighbor hood

From: Barbara Daus <barbaradaus@platteville.org>
Sent: Friday, April 21, 2023 9:17 PM
To: Council Members <Council@platteville.org>
Subject: Fwd: Overlay for Preston Drive neighbor hood

Barbara Daus

From: Terry wood <woodterrya@gmail.com>
Sent: Friday, April 21, 2023 8:44:53 PM
To: Barbara Daus <barbaradaus@platteville.org>
Subject: Overlay for Preston Drive neighbor hood

Caution: This email is from an external source.

I am opposed to allowing the property on Perry Drive not to comply to our protected Overlay. The reason this was instated was to ensure our neighborhood was kept residential family housing. Our yard butts up to the University on 2 sides. If one property is allowed unlimited adults living together, we fear it would lower our property value and encourage more houses on our street sold for rental purposes.

Terry and Tim Wood
75 Preston Drive
Platteville, Wi.

Ordinance No. 23-25

ORDINANCE AMENDING THE ZONING MAP
WHICH IS PART OF THE OFFICIAL ZONING ORDINANCE
OF THE CITY OF PLATTEVILLE

The Common Council of the City of Platteville do ordain as follows:

Section 1. The Zoning Map, which is part of the Official Zoning Ordinance of the City of Platteville, is hereby amended as follows:

The following described area which is zoned R-1 Single Family Residential District and with an R-LO Limited Occupancy Overlay District designation, is hereby rezoned to remove the R-LO Limited Occupancy Overlay District designation.

Lot 9, Block 3 of the West Hill Subdivision, being located in the Northwest Quarter of the Northeast Quarter of Section 16, Township 3 North, Range 1 West, of the 4th P.M., City of Platteville, Grant County, Wisconsin.

The area to be rezoned has an address of 1135 Perry Drive.

Section 2. This Ordinance shall be in full force and effect from and after its passage and publication as required by law.

Approved and adopted by the Common Council of the City of Platteville on a vote of ___ to ___ on this 25th day of April, 2023.

CITY OF PLATTEVILLE

Barbara Daus, Council President

Attest:

Candace Klaas, City Clerk

Published: _____, 2023

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

COUNCIL SECTION: PUBLIC HEARING ITEM NUMBER: III.B.	TITLE: Conditional Use Permit – Humane Society Kennels at 500 E. Business Highway 151	DATE: April 25, 2023 VOTE REQUIRED: Majority
PREPARED BY: Joe Carroll, Community Development Director		

Description:

The Grant County Humane Society is interested in purchasing the property at 500 E. Business Highway 151 for use as an animal shelter and kennels, which requires the approval of a conditional use permit.

The 4.5-acre property has frontage on Valley Road and Business Highway 151; however, all vehicular access is from Business Highway 151. The building has approximately 11,664 square feet. The building will be remodeled to accommodate up to 40 dogs and 62 cats, and will include a drop-off area, surgical suite, offices, and a retail area. Outdoor kennels and a fenced play area will also be provided to the side and rear of the building. Visitor and employee parking will be provided in front of the building. In the future, depending on capacity, the operations may also include boarding animals and animal daycare services.

Budget/Fiscal Impact:

The property purchase will have a negative budget impact due to the non-profit status of the Humane Society.

Recommendation:

The Plan Commission considered this item at the April 3rd meeting and recommended approval.

There is adequate space on the property to accommodate the proposed shelter and kennel, and the proposed use is compatible with the surrounding businesses. Overall, the proposed use appears to be in compliance with the zoning requirements for a Conditional Use Permit. Staff agrees with the Plan Commission recommendation for approval.

Sample Affirmative Motion:

“Motion to approve the Conditional Use Permit for the Grant County Humane Society animal shelter and kennel on the property at 500 E. Business Highway 151.”

Attachments:

- Staff Report
- Location Map
- Application
- draft Resolution.

STAFF REPORT

CITY OF PLATTEVILLE

Community Planning & Development Department



Meeting Dates: Plan Commission - April 3, 2023
Common Council- April 11, 2023 (Information)
April 25, 2023 (Action)

Re: Conditional Use Permit

Case #: PC23-CUP02-05

Applicant: Grant County Humane Society

Location: 500 E. Business Highway 151

Surrounding Uses and Zoning:

Direction	Land Use	Zoning	Comprehensive Plan
Property in Question	Business	B-3	Business
North	City Water Plant/ Business	B-3/M-2	Business/Manufacturing
South	Business / Agriculture	B-3	Business
East	Business	B-3/M-2	Business/Manufacturing
West	Business	B-3	Business

I. BACKGROUND

1. The property in question currently contains a vacant commercial building. The Grant County Humane Society is interested in purchasing the property and operating an animal shelter and kennel on the site, which requires approval of a conditional use permit.

II. PROJECT DESCRIPTION

2. The 4.5-acre property has frontage on Valley Road and Business Highway 151; however, all vehicular access is from Business Highway 151. The building has approximately 11,664 square feet. The building will be remodeled to accommodate up to 40 dogs and 62 cats, and will include a drop-off area, surgical suite, offices, and a retail area. Outdoor kennels and a fenced play area will also be provided to the side and rear of the building. Visitor and employee parking will be provided in front of the building. In the future, depending on capacity, the operations may also include boarding animals and animal daycare services.

III. STAFF ANALYSIS

3. When considering a Conditional Use permit, consideration must be given to the standards listed in Section 22.13. Specifically, this section allows for the issuance of a Conditional Use Permit when it is shown that the "uses and structures are in accordance with the purpose and intent of the Ordinance and are found not to be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or the community." There is adequate space on the property to accommodate the proposed shelter and kennel, and the proposed use is compatible with the surrounding businesses. Overall, the proposed use appears to be in compliance with these requirements.

IV. RECOMMENDATION

4. Staff recommends approval of the Conditional Use Permit to allow the proposed animal shelter and kennel on the property at 500 E. Business Highway 151.

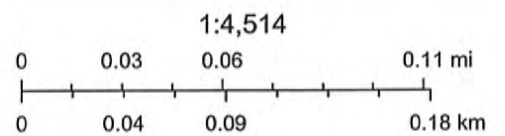
ATTACHMENTS: Location Map, Application.

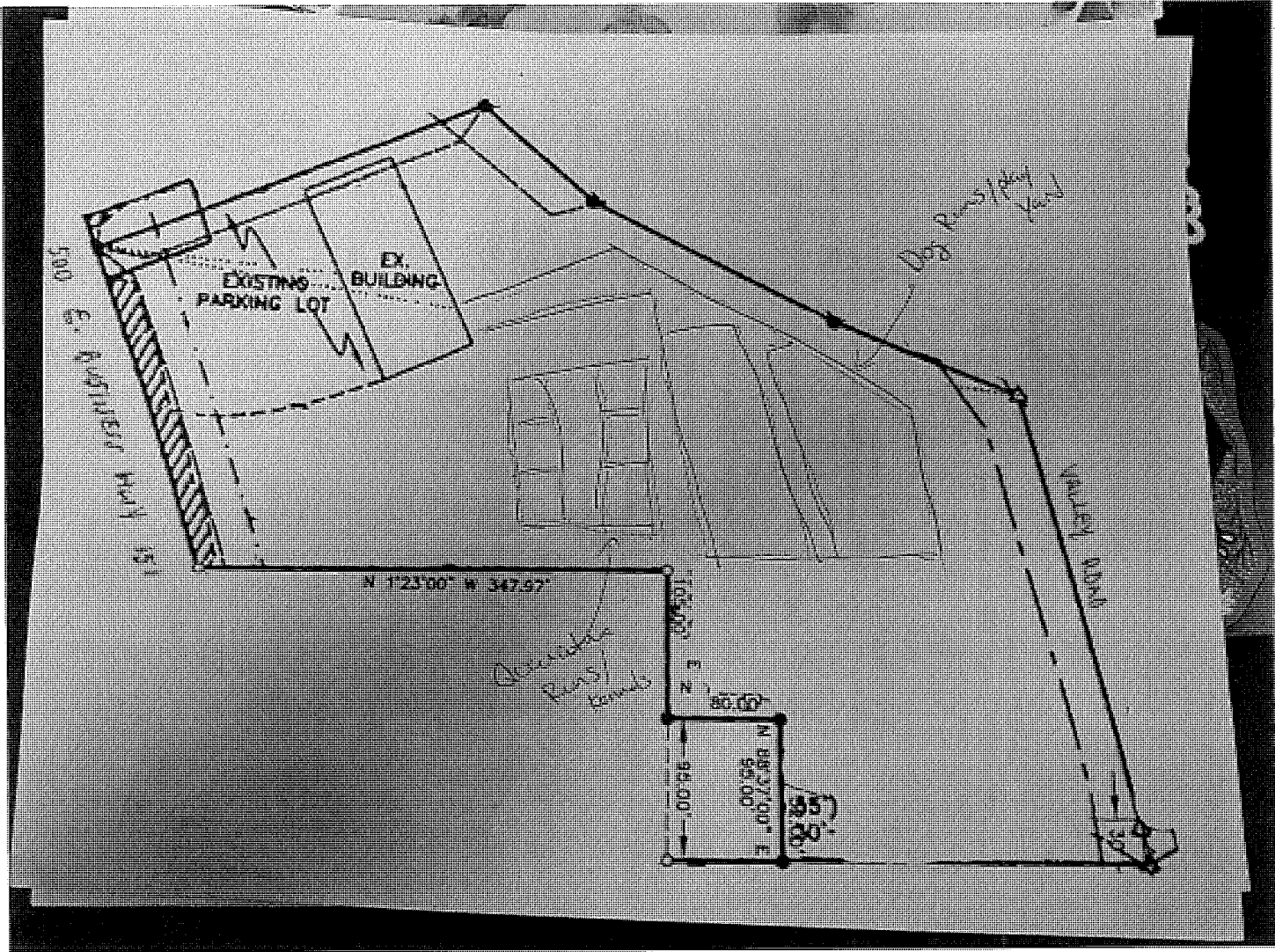
ArcGIS Web Map



3/27/2023, 11:32:08 AM

- Centerlines
- City Boundary
- Parcel Data (2022)
- Landmark Names















RESOLUTION NO. 23-06

RESOLUTION APPROVING A CONDITIONAL USE PERMIT

WHEREAS, the Grant County Humane Society proposes to operate an animal shelter and kennel on the property at 500 E. Business Highway 151; and,

WHEREAS, the property is zoned B-3 Highway Business, which allows kennels and other animal-related facilities with the approval of a Conditional Use Permit (CUP); and

WHEREAS, the Planning Commission of the City of Platteville reviewed the request at their April 3, 2023 meeting and recommended approval.

NOW, THEREFORE, the Common Council of the City of Platteville hereby approves a Conditional Use Permit to allow the Grant County Humane Society to operate an animal shelter and kennel on the property at 500 E. Business Highway 151.

Approved and adopted by the Common Council of the City of Platteville this 25th day of April 2023, on a vote of _____ to _____.

THE CITY OF PLATTEVILLE,

By: Barb Daus, Council President

ATTEST:

Candace Klaas, City Clerk

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

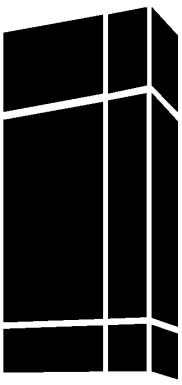
COUNCIL SECTION: PRESENTATION ITEM NUMBER: IV.	TITLE: Platteville Public Library Update	DATE: April 25, 2023 VOTE REQUIRED: None
PREPARED BY: Jessie Lee-Jones, Library Director		

Description:

Library Director Jessie Lee-Jones will present an update on the Platteville Public Library.

Attachments:

- 2022 Public Library Annual Report
- 2022 Platteville Public Library Accomplishments



PLATTEVILLE PUBLIC LIBRARY



55,475

people visited the Library. That's a **57%** increase over 2021.

93,162

physical items checked out. That's a **24.5%** increase compared to 2021.

6,507

items checked out with the self-check machines

165+

volunteer hours



The most items were returned **December 27**

27,886



ebook and eaudiobooks checked out



The busiest checkout day was **Wednesday, December 21**

Most requested items of 2022

- It Ends with Us by Colleen Hoover
- Verity by Colleen Hoover
- Reminders of Him by Colleen Hoover
- Where the Crawdads Sing by Delia Owens
- The Maid by Nita Prose

Most checked out item of 2022

(and 2020 and 2019)
Where the Crawdads Sing by Delia Owens

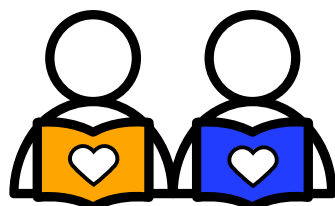
1,681

times the meeting rooms were used



Most requested authors of 2022

- Colleen Hoover
- James Patterson
- Lee Child
- Erin Hunter
- David Baldacci



4,305

people came to **197** programs



757

people signed up for a library card



2022 highlights



PLATTEVILLE PUBLIC LIBRARY

We believe that **libraries are for everyone**, so we added five signs to say this in English, Pashto, Ho-Chunk, Chinese, and Spanish.

We added two new **self-check machines** as part of a \$25,000 ARPA grant through the Southwest Wisconsin Library System.

Time flies! We celebrated our **fifth anniversary** in our new building this year.

Welcome to **new staff**! We added Mela Lewandowski as Outreach Coordinator; Daryn Baryenbruch, Charlie Chamberlain, and Shauheen Soofi as custodians; and Eva Hollingsworth, Madeline Korb, and Jenna Shea as assistants. Congratulations to Maggie Bahn Denowski in her new role as Youth Services Outreach Coordinator.

It's easier to find your favorite children's book now! We finished a massive **relabeling project** to ensure all 7,800+ picture books have consistent labeling.

We were grateful to receive a \$97,000 bequest to the Library Foundation from the estate of **Eila Butterworth**.

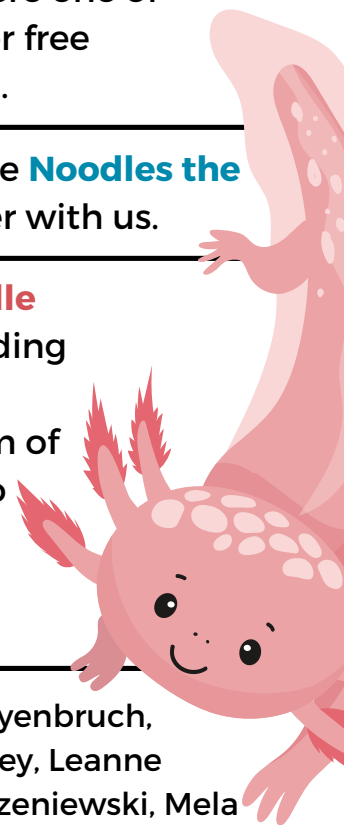
Thank you to the **Platteville Library Foundation** for our additional program funding, including costumes for our summer princess party, an outreach button maker, read-along books, summer performances, dial-a-story phone line, and the Hillmen Art Connection display.

The Library hosted the traveling exhibit "Immigrant Journeys from South of the Border" through **Wisconsin Humanities**.

Thanks to the **Wisconsin Department of Natural Resources**, we were one of 20 libraries chosen to offer free one-day state park passes.

We were delighted to have **Noodles the axolotl** spend the summer with us.

Thank you to the **Platteville Community Fund** for funding our new **bicycle + scooter rack**. No matter what form of transportation you take to the Library, we're always happy to see you here!



2022 Library staff: Jessie Lee-Jones (Director), Maggie Bahn Denowski, Daryn Baryenbruch, Roxanne Boardman, Mike Bradley, Molly Carns, Charlie Chamberlain, Valerie Curley, Leanne Holdridge, Eva Hollingsworth, Erin Isabell, Tom Kastner, Madeline Korb, Luke Korzeniewski, Mela Lewandowski, Binga Manwiller, Rachel McFall, Cheryl Philipps, Kalle Pluemer, Nancy Sagehorn, Jenna Shea, Lydia Sigwarth, Shauheen Soofi, Bailey Watson, Karina Zidon. **Library Board:** Lynne Parrott, Kelly Podach Francis, Nathan Robinson, Kelly Sponsler, Karen Utley, Carla Wages, Emily Zachary



PLATTEVILLE
PUBLIC
LIBRARY

2022





We provide meaningful opportunities for patrons to get involved and foster ownership.

- Outreach Coordinator Mela and Specialist Rachel schedule and assign tasks to 12 individual volunteers on a regular basis
- Over 100 hours of service were logged.
- Volunteer Madison was awarded as our “Volunteer of the Year”



COMMUNITY CONNECTIONS



Small Business PASSPORT

NOVEMBER 21 - DECEMBER 21



We are active participants in our Main Street community.

- Library Director Lee-Jones serves on the Main Street Promotion Committee
- Outreach Coordinator Mela serves on the PATH (Platteville Arts, Trails, and History) Chalk and Cheese planning committee
- We welcomed over 250 visitors during Sweet Treats on Main Street
- Patron Services Manager decorated our cow for Dairy Days as Elizabeth the 75th
- Library Specialists Nancy and Rachel manage the Small Business Passport program



COMMUNITY CONNECTIONS



We maintain strong connections with the Platteville School District

- Summer school hosted a daily course at the library
- School visits and library cards issued to all 1st graders
- District-wide art show
- Homecoming window display
- Dial-a-Story recordings
- Diverse Student Alliance
- 4k Book Bike visits
- Neal Wilkins Exploration Night



COMMUNITY CONNECTIONS



We partner with local, regional, and statewide organizations to bring new and unique services to our community

- Tri-State Needle Arts display
- Southwest Opportunity Center paper shredding
- Check Out a State Park Pass with DNR and WLA
- Wisconsin Humanities Council Immigrant Journeys display
- Hillmen Art Connection



COMMUNITY CONNECTIONS



We provide a wide variety of programming thanks to many community donors, volunteers, and partner organizations including:

- Jen Mariskanish and Maloo
- Tri-State Needle Artists
- PCA (pictured)
- Southwest Opportunities Center (pictured)
- Grant County Master Gardeners
- Platteville Senior Center
- Wisconsin Humanities Council
- Sinsinawa Mounds Large Print collection donation
- PATH (Platteville Arts, Trails, and History)
- Music Together
- Elks Club
- Wisconsin DNR
- Southwest Wisconsin Library Association
- Wisconsin Library Association
- Platteville Thrift Shop
- LDS Sisters
- Grant County Historical Society
- Southwest Opportunities Center, Inc. (pictured)
- UW-Platteville
 - Circle K
 - Marty Green and AmeriCorps Farm to School, Garden Detectives (pictured)
- Optimists- Books 4 Babies
- Main Street/Chamber- Small Business Passport
- Donations of supplies
 - Chiropractic Associates
 - Mellin family
 - Platteville Main Street Program

COMMUNITY CONNECTIONS



We find unique and creative ways to promote our collections and resources.



COMMUNITY AWARENESS

Small Business PASSPORT

NOVEMBER 21 - DECEMBER 21



Warm up with a good book

We provide opportunities for our patrons to engage at the library, online, and out in the community.

PLATTEVILLE PUBLIC LIBRARY

Feb. 1st - 28th, 2022

For the Love of Reading

Winter Reading For the Whole Family!

To sign-up visit plattevillepubliclibrary.beanstack.com or download the Beanstack App

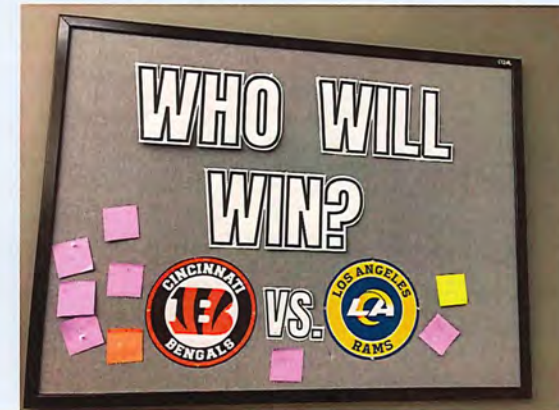
Free online homework help.

Anywhere.
Anytime.

Find your library card and get started at plattevillepubliclibrary.org/resources



September is **Library Card Sign Up Month**



ENJOY SOME POETRY AS YOU TAKE A WALK

APRIL IS NATIONAL POETRY MONTH

PLATTEVILLE PUBLIC LIBRARY
225 W. MAIN ST.

CELEBRATE IMAGINATION AND CREATIVITY

SUBMIT YOUR OWN POETRY FOR DISPLAY

COMMUNITY AWARENESS



We provide opportunities for community members to learn more about the library, network, and get involved.

- Patron Appreciation Day
- Main Street Monthly Mingle
- 5 Year Anniversary Open House



COMMUNITY AWARENESS

We support our diverse community, provide a welcoming atmosphere, and make meaningful connections.

- June Pride Month Celebration
- Inclusive Playground donation to purchase a StoryWalk system
- PHS students recorded Dial-A-Story books in Spanish
- Collection development project focused on the refugee experience and titles in Pashto, Farsi and Dari
- Libraries are for Everyone signs hung in English, Pashto, Ho-Chunk, Chinese, and Spanish
- Sensory Friendly Storytime

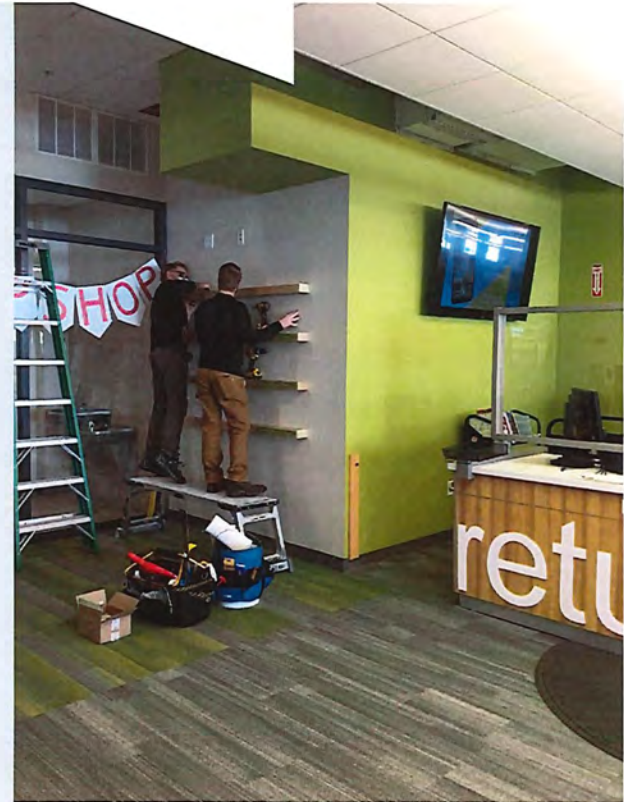


ACCESSIBILITY, INCLUSIVITY, DIVERSITY



We continue to adjust and adapt to our space.

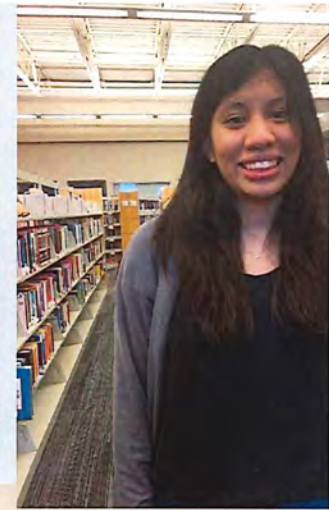
- Elevator signage in basement
- Donor recognition wall
- Bike and scooter rack purchased thanks to Platteville Community Fund grant



ADJUSTING TO THE NEW BUILDING

We worked through many staffing changes. We welcomed

- Mela, Outreach Coordinator
- Madeline, Jenna, and Eva, Library Assistants
- Shauheen and Charlie, Custodians
- Daryn and Sally, Substitute Custodians



STAFF DEVELOPMENT

We encourage personal and professional growth for patrons and staff.

- Roxanne, Binga, Mela, Rachel, and Maggie graduated from the OverDrive support course
- Maggie attended Youth Services 101 through UW-Madison
- Rachel and Karina serve on the SWLS Best Practices Committee
- Jessie serves on the SWLS Technology Committee
- Staff attended quarterly all-staff training/team building days

Writing a Social Media Policy for Your Library



Laura Solomon
Meanlaura.com
@laurasolomon



Respectful Human Resources for Rural Librarians

Lisa Shaw
Small & Rural Libraries & Workforce Development Specialist – Maine State Library



MENTAL HEALTH IN LIBRARY CUSTOMER INTERACTIONS
LIBBY RICHTER, MSW, APSW

SLJ DAY OF DIALOG

FREE VIRTUAL EVENT | MAY 19, 2022



BACKUP

How to Backup your coworkers during a crisis

ADVANCED TECHNIQUES

1. When should you provide backup to a coworker?
 - ✓ When they request it verbally or with signal.
 - ✓ Your coworker's body language says "help!"
 - ✓ When the volume goes up.
 - ✓ When you know there is a tough conversation ahead.
 - ✓ When in doubt, ask!



Coping With Compassion Fatigue

Visit www.menti.com
and enter code
9705 1654

HOMELESSTRAINING

MENTAL ILLNESS

PART 1

HOW TO HANDLE PROBLEMATIC BEHAVIOR

BY RYAN DOWD



Instagram Basics for Libraries

June 8, 2022
1pm



By Zroszlik, Winding Rivers Library System
Mauna Koszegi, Southwest Wisconsin Library System
Jill Lupton, Director, Wilton Public Library
- Welcome, everyone.

STAFF DEVELOPMENT



BIKE/SCOOTER RACK



COSTUMES FOR PRINCESS PARTY



OUTREACH BUTTON MAKER



READALONG BOOKS



SUMMER PERFORMANCES



DIAL-A-STORY PHONE LINE



HILLMAN ART CONNECTION

DONOR SUPPORTED PROJECTS IN 2022



Eila B. Butterworth

August 14, 1913 - April 8, 2021

A LEGACY GIFT FROM EILA BUTTERWORTH

The Platteville Public Library Foundation recently accepted a bequest of over \$97,000 from the estate of Eila Butterworth.

The board determined that the gift will be transferred into the endowment account designated for the long-term care of the library building.

Planned gifts are an important part of the charitable giving process. Community members are encouraged to consider the Platteville Library Foundation in their family's financial planning.

To discuss your legacy plan or learn more about making a donation to the Platteville Library Foundation, please contact Foundation President Lori Laufenberg at foundation@plattevillepubliclibrary.org or contact 608-348-7441 ext. 5.



We project a positive attitude and demonstrate enthusiasm for our jobs and the service provided both inside the library and in the community.



FUN STUFF

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

**COUNCIL SECTION:
CONSIDERATION OF
CONSENT AGENDA
ITEM NUMBER:
V.**

**TITLE:
Council Minutes, Payment of Bills, Appointment to Boards
and Commissions, Licenses, Permit, and Arbor Day
Proclamation**

**DATE:
April 25, 2023
VOTE REQUIRED:
Majority**

PREPARED BY: Candace Klaas, City Clerk

Description:

The following items may be approved on a single motion and vote due to their routine nature or previous discussion. Please indicate to the Council President if you would prefer separate discussion and action.

Budget/Fiscal Impact:

None

Sample Affirmative Motion:

"I move to approve all items listed under Consent Calendar"

Attachments:

- Council Minutes
- Payment of Bills
- Appointment of Boards and Commissions
- Licenses
- Permits
- Proclamation for Arbor Day

PLATTEVILLE COMMON COUNCIL PROCEEDINGS
April 11, 2023

The regular meeting of the Common Council of the City of Platteville was called to order by Council President Barbara Daus at 6:00 PM in the Council Chambers of the Municipal Building.

ROLL CALL

Present: Barbara Daus, Lynne Parrott, Todd Kasper, Eileen Nickels, Kathy Kopp, Jason Artz, and Ken Kilian.

Excused: None.

PRESENTATIONS

- A. Proclamation Recognizing Alderperson Eileen Nickels – Proclamation presented by Council President Barbara Daus.
- B. Proclamation Recognizing national Library Week 2023 – Proclamation presented by Council President Barbara Daus.
- C. 2022 Platteville Incubator Annual Report – Presentation given by Executive Director Kate Koziol.

CONSIDERATION OF CONSENT AGENDA

Motion by Nickels, second by Kopp to approve the consent agenda as follows: Council Minutes – 3/28/23 Regular; Payment of Bills in the amount of \$689,319.86; Financial Report – March; Appointments to Boards and Commissions, Robert Vosberg to the Plan Commission, Paul Malischke to Community Safe Routes Commission, Marcia Cordts to Fruedenreich Animal Trust Fund Committee, Kelly Sponsler to the Library Board, and Beth Freiders to the Historical Preservation Commission.; One-Year Operator License – Hazel I Klosterman; Two-Year Operator License – Kelly A Kettler, Myale E Nevitt, and Kearstin K Schwetzer; Street Closing Permit, N Court Street between the St. Mary’s Church and School and between W Adams Street and W Cedar Street for Parish Family Event on Thursday, June 29 from 3:00 PM to 10:00 PM by the St. Mary’s Parish.; Council Organizational Meeting – Tuesday, April 18 at 5:00 PM. Motion carried 7-0 on a roll call vote.

CITIZENS’ COMMENTS, OBSERVATIONS AND PETITIONS, if any. Council President Daus thanked all involved who helped with the Spring Election.

REPORTS

- A. Board/Commission/Committee Minutes – Housing Authority Board.
- B. Other Reports – Water and Sewer Financial Report – March, Airport Financial Report – March, and Department Progress Reports.

ACTION

- A. *Emmi Roth Right of First Refusal* – Motion by Kasper, second by Parrott to approve the Right of First Refusal for a 30-day period. Motion carried 7-0 on a roll call vote.
- B. *Freudenreich Animal Trust Fund Principal Request* – Dr. Cari Schaffer spoke in favor. Paul Halberg registered in favor. Motion by Kopp, second by Kasper to authorize use of the Freudenreich Animal Care Trust Fund to support the purchase of the building at 500 E. Business Highway 151 in the City of Platteville to house the Grant County Humane Society through

closure of the Freudenreich Animal Care Trust Fund and disbursement of the principal and earnings to the Grant County Humane Society at which time we are notified the full funding is available. Motion carried 7-0 on a roll call vote.

- C. *Contract 4-23 Business 151 (Fastenal) Storm Sewer Construction* – Motion by Kasper second by Kilian to reject all bids. Motion carried 7-0 on a roll call vote.
- D. *Contract 15-23 Weed and Grass Mowing* – Motion by Nickels second by Artz to award Contract 15-23 Weed and Grass mowing to Holman Lawncare at the bid price of \$80.00 per hour and \$80.00 minimum per location. Motion carried 7-0 on a roll call vote.
- E. *2022 Budget Carryovers to 2023 (Budget Amendment #1)* – Motion by Nickels, second by Kopp to approve the carryover of \$646,855 in the CIP Fund and \$34,866 in the General Fund per the attached schedule. Motion carried 7-0 on a roll call vote.
- F. *Swimming Pool Water Tightness Integrity Proposal (Budget Amendment #2)* – Motion by Kilian, second by Parrott to approve Staff to hire an engineer and necessary contractors to complete a pool water tightness evaluation and repair plan not to exceed \$62,000. Motion carried 7-0 on a roll call vote.
- G. *Procedure for Filling Alderperson District 3 Position* – Motion by Kopp, second by Nickels to approve the selection process and timeline proposed by Staff to fill the vacancy of the position of Alderperson District 3. Motion carried 7-0 on a roll call vote.

INFORMATION AND DISCUSSION

- A. *Ordinance – Zoning Amendment – Remove R-LO Overlay District at 1135 Perry Drive* – Community Development Director Joe Carroll explained that the property at 1135 Perry Drive contains a single-family house that was recently purchased by the applicant. The applicant is a student at UW-Platteville and lives there with three other students. This is a temporary living situation for them, and the applicant plans on selling the property after he graduates. The property is currently zoned R-1 Single Family Residential, and also has an R-LO Limited Occupancy Residential overlay district designation. With this designation, the property can be used as an owner-occupied residence, and as a rental property, but is limited to the number of unrelated individuals that can live on the property. The house can be occupied by any number of individuals that compose a family (as defined by the code), but it would be limited to a maximum of 2 individuals that are unrelated. This means that only 2 of the current occupants are allowed to live there. The applicant was not aware of this restriction when purchasing the property and is requesting to have the R-LO overlay district designation removed, which would allow the property to be occupied by a maximum of 4 unrelated individuals, which would be the same as other R-1 properties. This would allow all four of the residents to remain living on the property. When the R-LO district designation was adopted in 2012, it was based on a petition submitted by residents in the neighborhood. The designation only included the properties where the owner signed the petition and did not include any nearby or adjoining properties where the owner did not sign the petition. For this reason, there are gaps in the designation in various areas, including the adjacent property to the north of the applicant’s property. At the time the overlay district was created, the prevailing sentiment among the members of the Plan Commission and some of the Council was that the City shouldn’t be forcing this designation on any property owner that didn’t want it. There was also a similar sentiment among some that any owner that didn’t want the

overlay designation should be able to have it removed. The neighborhood would prefer that the overlay district designation remains in place. The neighbors have submitted a protest petition related to the rezoning request. The petition has been signed by the owners of more than 20% of the land within 100 feet of the property. This petition requires that the zoning amendment shall not become effective except by the favorable vote of three-fourths of the members of the Common Council voting on the proposed change. The Plan Commission considered this request at the April 3rd meeting and recommended that the R-LO overlay district designation remain, but that the applicant be allowed up to 2 years to achieve compliance. Staff has no concerns with the request to remove the R-LO designation. Staff also believes that the Plan Commission proposal is a good compromise and would agree with that recommendation Applicant Devyn Behlke spoke in favor. Paul Haberg registered in favor. Gene Weber presented a petition to the Council as well as spoke against along with Tom Osting, Mary Jo Hennesy, Kathy Connett, Siri Jenkins, and Bev Johansen. Josephine Kischer, Terry Vaassen, Tom Nickels, Tom Young, Sylvia Kurowski, Kay Young, Donita Cartmill, Bonnie Vaassen, Diane Nelson, Dwight Nelson, Jan Weber, Debra Meis, Melody Koppen, Mathew Ellman, Deb Osting, Richard Rundell, Tonia Wagner, Brian Wagner, and Mary Karen Rundell all registered against.

- B. *Resolution – Conditional Use Permit – Animal Shelter/Kennel at 500E. Business Highway 151* – Community Development Director Joe Carroll explained that the Grant County Humane Society is interested in purchasing the property at 500 E. Business Highway 151 for use as an animal shelter and kennels, which requires the approval of a Conditional Use Permit. The building has approximately 11,664 square feet. The building will be remodeled to accommodate up to 40 dogs and 62 cats and will include a drop-off area, surgical suite, offices, and a retail area. Outdoor kennels and a fenced play area will also be provided to the side and rear of the building. Visitor and employee parking will be provided in front of the building. In the future, depending on capacity, the operations may also include boarding animals and animal daycare services. The Plan Commission considered this item at the April 3rd meeting and recommended approval. There is adequate space on the property to accommodate the proposed shelter and kennel, and the proposed use is compatible with the surrounding businesses. Overall, the proposed use appears to be in compliance with the zoning requirements for a Conditional Use Permit. Staff agrees with the Plan Commission recommendation for approval. Dr. Cari Schaffer spoke in favor and to some of the concerns from Council members.
- C. *Resolution to Authorize Release of Citations – Donisi Properties* – Community Development Director Joe Carroll explained that the City has issued approximately 765 citations to Mr. Dave Donisi between March of 2020 and January of 2023 – primarily regarding property maintenance issues for several of his properties. He has been found guilty on all of them. His properties are now in the hands of Reliable Guardianship Services, Inc., a court-appointed guardian who is trying to sell the properties. Some of the properties are vacant and some are occupied, but as they become vacant and cleaned out they are being listed for sale. The 11 properties in the City and 1 property in the Township will be sold to pay off Mr. Donisi's debts. It appears that the value of the properties is not adequate to cover all the debt and liens that are in place on the properties. The attorney working with the guardian is asking if the City would be willing to sign a release for these citations to help expedite the sale of the properties. It appears that a similar request is being made to other debtors and lienholders that are involved in the properties.

ADJOURNMENT

Motion by Nickels, second by Kopp to adjourn. Motion carried 7-0 on a roll call vote. The meeting was adjourned at 7:42 PM.

Respectfully submitted,

Candace Klaas, City Clerk

DRAFT

**PLATTEVILLE COMMON COUNCIL PROCEEDINGS
APRIL 18, 2023**

The organizational meeting of the Common Council of the City of Platteville was called to order by Council President Barbara Daus at 5:00 PM in the Council Chambers of the Municipal Building.

ROLL CALL

Present: Barbara Daus, Ken Kilian, Lynne Parrott, Jason Artz, Kathy Kopp, and Todd Kasper.
Excused: None

ADMINISTER OATH OF OFFICE

City Clerk Candace Klaas administered the oath of office to Kathy Kopp (Aldersperson At-Large) and Barbara Daus (Aldersperson – District 2). Each will serve a 3-year term.

ELECTION OF COUNCIL PRESIDENT

Daus requested nominations for Council President. Motion by Artz, second by Parrott to nominate Barbara Daus for President. Nominations were closed. Motion carried 6-0 on a roll call vote.

DESIGNATION OF PRESIDENT PRO TEM

Daus designated Kathy Kopp as President Pro Tem.

ELECTION OF PLAN COMMISSION MEMBER

Motion by Artz, second by Kopp to nominate Todd Kasper. Nominations were closed and a unanimous vote was cast for Todd Kasper. Kasper will also serve on Board of Appeals – Zoning. Motion carried 6-0 on a roll call vote.

DETERMINE COUNCIL SEATING ARRANGEMENTS

Seating arrangements are from left to right in the following order, Jason Artz, Kathy Kopp, Barbara Daus, Ken Kilian, Lynne Parrott, Todd Kasper.

ACTION

- A. *Resolution 23-05 Designation of Official Newspaper – Platteville Journal* – Motion by Kilian, second by Artz to approve Resolution 23-05 to Designate Platteville Journal as the Official Newspaper. Motion carried 6-0 by a voice vote.
- B. *Continuation of City Attorney and Special Counsel for Prosecutorial Services* – Motion by Kopp, second by Parrott to approve continuation of services with Bill Cole of Axley Brynelson for City Attorney and Ben Wood of Wood Law Firm for Special Counsel – Prosecutorial Services. Motion carried 6-0 on a roll call vote.

ADJOURNMENT

Motion by Kopp, second by Parrott to adjourn. Motion carried 6-0 on a roll call vote. The meeting was adjourned at 5:15 PM.

Respectfully submitted,

Candace Klaas, City Clerk

SCHEDULE OF BILLS

MOUND CITY BANK:

4/7/2023	Schedule of Bills (ACH payments)	7953-7955	\$	50,420.26
4/7/2023	Schedule of Bills	75512-75514	\$	755.76
4/7/2023	Payroll (ACH Deposits)	114206-114314	\$	188,527.92
4/10/2023	Void	75399	\$	(145.00)
4/19/2023	Schedule of Bills (ACH payments)	7956-7995	\$	81,849.19
4/19/2023	Schedule of Bills	75515-75558	\$	111,563.20
			\$	-
	(W/S Bills amount paid with City Bills)		\$	(36,750.58)
	(W/S Payroll amount paid with City Payroll)		\$	(29,190.46)
	Total		\$	<u>367,030.29</u>

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
7953								
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX F	PR0401231	1	12,538.53	12,538.53
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX S	PR0401231	2	11,016.93	11,016.93
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX S	PR0401231	3	11,016.93	11,016.93
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX	PR0401231	4	2,576.57	2,576.57
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX	PR0401231	5	2,576.57	2,576.57
Total 7953:								39,725.53
7954								
04/23	04/07/2023	7954	WI DEFERRED COMP BO	DEFERRED COMPENSAT	PR0401231	1	1,584.38	1,584.38
04/23	04/07/2023	7954	WI DEFERRED COMP BO	DEFERRED COMPENSAT	PR0401231	2	2,438.40	2,438.40
Total 7954:								4,022.78
7955								
04/23	04/07/2023	7955	WI DEPT OF REVENUE	STATE INCOME TAX STA	PR0401231	1	6,671.95	6,671.95
Total 7955:								6,671.95
7956								
04/23	04/19/2023	7956	CARDMEMBER SERVICE	WATER DEPT CHARGES	03.24.2023	1	83.97	83.97
04/23	04/19/2023	7956	CARDMEMBER SERVICE	WATER DEPT CHARGES	03.24.2023	2	248.96	248.96
04/23	04/19/2023	7956	CARDMEMBER SERVICE	SEWER DEPT CHARGES	03.24.2023	3	12.15	12.15
04/23	04/19/2023	7956	CARDMEMBER SERVICE	SEWER DEPT CHARGES	03.24.2023	4	486.00	486.00
04/23	04/19/2023	7956	CARDMEMBER SERVICE	SEWER DEPT CHARGES	03.24.2023	5	80.00	80.00
Total 7956:								911.08
7957								
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	1	3,785.18	3,785.18
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	2	2,081.62	2,081.62
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	3	238.65	238.65
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	4	238.65	238.65
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	5	497.19	497.19
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	6	742.54	742.54
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	7	307.12	307.12
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	8	307.12	307.12
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	9	382.96	382.96
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	10	382.95	382.95
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	11	710.20	710.20
Total 7957:								9,674.18
7958								
04/23	04/19/2023	7958	ACCESS SYSTEMS	TONER-MUSEUM	INV1356319	1	10.99	10.99
Total 7958:								10.99
7959								
04/23	04/19/2023	7959	ALLEGiant OIL LLC	DIESEL FUEL - UWP	314905	1	633.70	633.70
04/23	04/19/2023	7959	ALLEGiant OIL LLC	GASOLINE - UWP	314908	1	1,271.88	1,271.88
04/23	04/19/2023	7959	ALLEGiant OIL LLC	GASOLINE - UWP	315618	1	1,370.28	1,370.28
04/23	04/19/2023	7959	ALLEGiant OIL LLC	DIESEL FUEL - UWP	316267	1	1,071.17	1,071.17
04/23	04/19/2023	7959	ALLEGiant OIL LLC	GASOLINE - UWP	316270	1	1,624.47	1,624.47
04/23	04/19/2023	7959	ALLEGiant OIL LLC	GASOLINE	316936	1	2,812.05	2,812.05

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
04/23	04/19/2023	7959	ALLEGIANT OIL LLC	DIESEL FUEL - UWP	316941	1	796.05	796.05
04/23	04/19/2023	7959	ALLEGIANT OIL LLC	GASOLINE - UWP	316943	1	845.51	845.51
Total 7959:								10,425.11
7960								
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	57983	1	18.80	18.80
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	58008	1	5.48	5.48
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	58016	1	233.00	233.00
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	58062	1	21.57	21.57
Total 7960:								278.85
7961								
04/23	04/19/2023	7961	ARROYO, PILAR	MEAL	03.28.2023	1	31.20	31.20
Total 7961:								31.20
7962								
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	GENERAL ATTORNEY	925739	1	2,193.50	2,193.50
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	LEGAL SERVICES TIF6	925739	2	107.40	107.40
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	LEGAL SERVICES TIF7	925739	3	779.40	779.40
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	LEGAL SERVICES WATE	925739	4	974.80	974.80
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	LEGAL SERVICES SEWE	925739	5	330.20	330.20
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	LEGAL SERVICES SEWE	925739	6	2,063.40	2,063.40
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	LEGAL SERVICES-AIRPO	925739	7	35.80	35.80
Total 7962:								6,484.50
7963								
04/23	04/19/2023	7963	BADGER WELDING SUPP	MONTHLY CYLINDER RE	3762221	1	15.81	15.81
04/23	04/19/2023	7963	BADGER WELDING SUPP	SHOP	3762222	1	6.20	6.20
Total 7963:								22.01
7964								
04/23	04/19/2023	7964	BAKER IRON WORKS LL	LOADER PLOW	87061	1	143.50	143.50
04/23	04/19/2023	7964	BAKER IRON WORKS LL	OE GRAY HVAC	87062	1	228.53	228.53
04/23	04/19/2023	7964	BAKER IRON WORKS LL	SENIOR CENTER CHARG	87063	1	140.44	140.44
04/23	04/19/2023	7964	BAKER IRON WORKS LL	SENIOR CENTER CHARG	87064	1	424.66	424.66
04/23	04/19/2023	7964	BAKER IRON WORKS LL	VEHICLE	87066	1	658.18	658.18
04/23	04/19/2023	7964	BAKER IRON WORKS LL	VEHICLE	87066	2	658.17	658.17
Total 7964:								2,253.48
7965								
04/23	04/19/2023	7965	CAPITAL SANITARY SUP	JANITORIAL SUPPLIES	D134844	1	60.04	60.04
04/23	04/19/2023	7965	CAPITAL SANITARY SUP	BUILDINGS AND GROUN	D134845	1	216.86	216.86
04/23	04/19/2023	7965	CAPITAL SANITARY SUP	CUSTODIAL SUPPLIES	D135061	1	58.80	58.80
Total 7965:								335.70
7966								
04/23	04/19/2023	7966	CDW GOVERNMENT INC	LAPTOP FOR COUNCIL C	HQ62197	1	797.42	797.42

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
Total 7966:								797.42
7967								
04/23	04/19/2023	7967	CLEAR REFLECTIONS	PROFESSIONAL SERVIC	04.15.2023	1	1,400.00	1,400.00
Total 7967:								1,400.00
7968								
04/23	04/19/2023	7968	COMELEC SERVICES IN	DOOR ACCESS PROBLE	0478205-IN	1	403.25	403.25
Total 7968:								403.25
7969								
04/23	04/19/2023	7969	DEWEYS TIRE REPAIR	CEMETERY CHARGES	17324	1	64.00	64.00
Total 7969:								64.00
7970								
04/23	04/19/2023	7970	DUBUQUE HOSE & HYDR	SUPPLIES/REPAIRS-WW	756336	1	133.44	133.44
04/23	04/19/2023	7970	DUBUQUE HOSE & HYDR	SUPPLIES/REPAIRS-WW	756634	1	134.05	134.05
Total 7970:								267.49
7971								
04/23	04/19/2023	7971	EVOQUA WATER TECHN	SEAL-SEWER DEPT	905820652	1	1,835.00	1,835.00
Total 7971:								1,835.00
7972								
04/23	04/19/2023	7972	GRANEY ELECTRIC LLC	SHOP ELEC WORK	2351	1	1,828.09	1,828.09
Total 7972:								1,828.09
7973								
04/23	04/19/2023	7973	HAWKINS INC	CHEMICALS-WWTP CHL	6447644	1	110.00	110.00
04/23	04/19/2023	7973	HAWKINS INC	CHEMICALS-WWTP SO2	6447644	2	30.00	30.00
Total 7973:								140.00
7974								
04/23	04/19/2023	7974	J & R RENTAL	BARRICADES	86196	1	223.97	223.97
Total 7974:								223.97
7975								
04/23	04/19/2023	7975	J & R SUPPLY INC	STOP BOX ENLARGED B	2303459-IN	1	24.70	24.70
04/23	04/19/2023	7975	J & R SUPPLY INC	6" PLASTIC WATER MAIN	2303528-IN	1	310.00	310.00
04/23	04/19/2023	7975	J & R SUPPLY INC	4" PLASTIC WATER MAIN	2303528-IN	2	150.00	150.00
04/23	04/19/2023	7975	J & R SUPPLY INC	WATER SUPPLIES	2303556-IN	1	60.75	60.75
04/23	04/19/2023	7975	J & R SUPPLY INC	SEWER DEPT CHARGES	2303556-IN	2	60.75	60.75
04/23	04/19/2023	7975	J & R SUPPLY INC	1" COMP TEE	2304207-IN	1	72.00	72.00
04/23	04/19/2023	7975	J & R SUPPLY INC	BRASS SCREW	2304207-IN	2	44.00	44.00
04/23	04/19/2023	7975	J & R SUPPLY INC	6" PLASTIC WATER MAIN	2304378-IN	1	335.00	335.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
Total 7975:								1,057.20
7976								
04/23	04/19/2023	7976	JOES OVERHEAD DOOR	TROUBLESHOOT GARAG	4.12.2023	1	300.00	300.00
04/23	04/19/2023	7976	JOES OVERHEAD DOOR	MOVE GARAGE DOOR S	4.14.2023	1	222.00	222.00
Total 7976:								522.00
7977								
04/23	04/19/2023	7977	KEMIRA WATER SOLUTI	PHOSPHORUS REMOVAL	9017788002	1	11,819.20	11,819.20
Total 7977:								11,819.20
7978								
04/23	04/19/2023	7978	LV LABS WW LLC	LAB TESTING - WWTP	1364	1	1,934.71	1,934.71
Total 7978:								1,934.71
7979								
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	1	14.63	14.63
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	2	35.93	35.93
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	3	70.72	70.72
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	4	68.96	68.96
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	5	84.96	84.96
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	6	36.91	36.91
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	7	1,032.58	1,032.58
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	8	85.33	85.33
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	9	41.23	41.23
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	10	36.97	36.97
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	11	201.80	201.80
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	12	4.92	4.92
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	13	20.16	20.16
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	14	52.44	52.44
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	15	41.04	41.04
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	16	200.16	200.16
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	17	41.18	41.18
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	18	89.33	89.33
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	19	69.91	69.91
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	20	3.91	3.91
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	21	58.05	58.05
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	22	164.16	164.16
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	23	228.91	228.91
Total 7979:								2,684.19
7980								
04/23	04/19/2023	7980	MILESTONE MATERIALS	GRAVEL	3500335777	1	430.76	430.76
Total 7980:								430.76
7981								
04/23	04/19/2023	7981	MONONA PLBG & FIRE P	SPRINKLER	2302484	1	365.00	365.00
Total 7981:								365.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
7982								
04/23	04/19/2023	7982	MONROE TRUCK EQUIP	TRUCK #230	5484229	1	396.27	396.27
Total 7982:								396.27
7983								
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	SEWER - VEHICLES	895611	1	95.18	95.18
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	WATER - VEHICLES	895888	1	47.70	47.70
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	SEWER - VEHICLES	895888	2	47.69	47.69
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	SHOP	895918	1	52.15	52.15
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	SHOP	895919	1	46.99	46.99
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	SEWER - VEHICLES	896169	1	26.97	26.97
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	WWTP SUPPLIES	896191	1	11.49	11.49
Total 7983:								328.17
7984								
04/23	04/19/2023	7984	NCL OF WISCONSIN INC	WWTP LAB	485739	1	650.87	650.87
04/23	04/19/2023	7984	NCL OF WISCONSIN INC	WWTP LAB	486003	1	108.46	108.46
Total 7984:								759.33
7985								
04/23	04/19/2023	7985	OREILLY AUTO PARTS	WATER TRUCK REPAIR	2324-152696	1	221.59	221.59
04/23	04/19/2023	7985	OREILLY AUTO PARTS	WATER TRUCK REPAIR	2324-152969	1	221.59	221.59
Total 7985:								443.18
7986								
04/23	04/19/2023	7986	OYEN PLUMBING & HEAT	SENIOR CENTER HVAC S	5347	1	4,950.00	4,950.00
04/23	04/19/2023	7986	OYEN PLUMBING & HEAT	BUILDINGS AND GROUN	5377	1	523.98	523.98
Total 7986:								5,473.98
7987								
04/23	04/19/2023	7987	PARTS AUTHORITY	SHOP	431-373713	1	288.61	288.61
04/23	04/19/2023	7987	PARTS AUTHORITY	TRUCK #44	431-376345	1	133.61	133.61
04/23	04/19/2023	7987	PARTS AUTHORITY	TRUCK #45	445-215124	1	67.73	67.73
Total 7987:								489.95
7988								
04/23	04/19/2023	7988	RICOH USA INC	COPIES-COUNCIL	1096652567	1	18.00	18.00
04/23	04/19/2023	7988	RICOH USA INC	COPIES-COUNCIL	5066868069	1	180.03	180.03
04/23	04/19/2023	7988	RICOH USA INC	COPIES-CLERK	5066868069	2	180.02	180.02
Total 7988:								378.05
7989								
04/23	04/19/2023	7989	SCHMITZ JANITORIAL SU	SUPPLIES-SEWER DEPT	11929	1	127.90	127.90
Total 7989:								127.90
7990								
04/23	04/19/2023	7990	SHERWIN INDUSTRIES I	PAINT	SS097349	1	864.80	864.80

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount	
Total 7990:								864.80	
7991									
04/23	04/19/2023	7991	SOUTHWEST OPPORTU	JANITORIAL SERVICES-P	25724	1	2,068.00	2,068.00	
Total 7991:								2,068.00	
7992									
04/23	04/19/2023	7992	TC NETWORKS	CAMERA LICENSE	21767	1	90.00	90.00	
Total 7992:								90.00	
7993									
04/23	04/19/2023	7993	TIFCO INDUSTRIES	SHOP SUPPLIES	71854956	1	129.95	129.95	
Total 7993:								129.95	
7994									
04/23	04/19/2023	7994	TRICOM INC/RADIO SHA	SHOP	10433892	1	39.99	39.99	
04/23	04/19/2023	7994	TRICOM INC/RADIO SHA	FD - UPS SHIPPING	10435692	1	15.59	15.59	
04/23	04/19/2023	7994	TRICOM INC/RADIO SHA	UPS SHIPPING-WATER D	10435751	1	55.30	55.30	
Total 7994:								110.88	
7995									
04/23	04/19/2023	7995	CARDMEMBER SERVICE	COMMUNITY PLANNING	4.03.2023	1	15.00	15.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	2	30.00	30.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	3	499.00	499.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	4	101.58	101.58	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	5	17.45	17.45	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FIRE DEPT CHARGES	4.03.2023	6	19.89	19.89	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FIRE DEPT CHARGES	4.03.2023	7	70.99	70.99	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FIRE DEPT CHARGES	4.03.2023	8	74.98	74.98	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	STREET DEPT CHARGES	4.03.2023	9	44.99	44.99	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	STREET DEPT CHARGES	4.03.2023	10	422.10	422.10	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	STREET DEPT CHARGES	4.03.2023	11	89.98	89.98	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	STREET DEPT CHARGES	4.03.2023	12	146.94	146.94	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	SENIOR CENTER CHARG	4.03.2023	13	463.30	463.30	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	SENIOR CENTER CHARG	4.03.2023	14	59.88	59.88	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	AIRPORT	4.03.2023	15	30.00	30.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	16	312.08	312.08	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	17	81.50	81.50	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	18	55.59	55.59	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	PARKS CHARGE	4.03.2023	19	266.36	266.36	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	PARKS CHARGE	4.03.2023	20	1,101.11	1,101.11	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	21	2,424.00	2,424.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	22	165.00	165.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	23	56.79	56.79	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	24	177.00	177.00	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MUSEUM CHARGES	4.03.2023	25	636.87	636.87	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	ELECTION CHARGES	4.03.2023	26	51.47	51.47	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	CLERK CHARGES	4.03.2023	27	43.09	43.09	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FINANCE CHARGES	4.03.2023	28	519.72	519.72	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	AIRPORT	4.03.2023	29	119.88	119.88	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FIRE DEPT CHARGES	4.03.2023	30	66.00	66.00	M

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MAINTENANCE CHARGE	4.03.2023	31	50.34	50.34	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MAINTENANCE CHARGE	4.03.2023	32	461.71	461.71	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	SENIOR CENTER REMO	4.03.2023	33	1,161.71	1,161.71	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	RECREATION CHARGES	4.03.2023	34	21.09	21.09	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	ELECTION CHARGES	4.03.2023	35	34.16	34.16	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	ADMINISTRATION CHAR	4.03.2023	36	145.10	145.10	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FIRE FACILITY	4.03.2023	37	51.70	51.70	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	CITY MANAGER CHARGE	4.03.2023	38	670.76	670.76	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	CITY MANAGER SUNSHI	4.03.2023	39	35.56	35.56	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	POLICE DEPT CHARGES	4.03.2023	40	11.75	11.75	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	POLICE DEPT CHARGES	4.03.2023	41	2,604.80	2,604.80	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	POLICE DEPT CHARGES	4.03.2023	42	210.99	210.99	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	43	106.94	106.94	M
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	44	260.20	260.20	M
Total 7995:								13,989.35	
75399									
04/23	04/10/2023	75399	SYN-TECH SYSTEMS INC	FUELMASTER	260923	1	145.00-	145.00-	V
Total 75399:								145.00-	
75512									
04/23	04/07/2023	75512	COLLECTION SERVICES	CHILD SUPPORT CHILD	PR0401231	1	214.76	214.76	
Total 75512:								214.76	
75513									
04/23	04/07/2023	75513	MISSIONSQUARE	ICMA DEFERRED COMP	PR0401231	1	25.00	25.00	
Total 75513:								25.00	
75514									
04/23	04/07/2023	75514	WPPA/LEER	UNION DUES POLICE U	PR0401231	1	516.00	516.00	
Total 75514:								516.00	
75515									
04/23	04/19/2023	75515	A-C SERVICE PLATTEVIL	REPAIR WWTP EQUIPME	4/11/2023	1	881.00	881.00	
Total 75515:								881.00	
75516									
04/23	04/19/2023	75516	ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-EME	4.19.2023	1	10.56	10.56	
04/23	04/19/2023	75516	ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-STR	4.19.2023	2	7,222.56	7,222.56	
04/23	04/19/2023	75516	ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-STO	4.19.2023	3	39.34	39.34	
04/23	04/19/2023	75516	ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-PAR	4.19.2023	4	360.17	360.17	
Total 75516:								7,632.63	
75517									
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	TRAUMA SHEERS	14VR-66YM-	1	99.95	99.95	
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	OFFICE SUPPLIES	1FVJ-X3C3-1	1	14.31	14.31	
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	STREAMLIGHTS	1VPT-JMFQ-	1	1,113.60	1,113.60	
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	BATTERIES	1WWT-JLPY-	1	18.59	18.59	
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	SHOE COVERS	1XKT-4CM7-	1	35.98	35.98	

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
Total 75517:								1,282.43
75518								
04/23	04/19/2023	75518	AT&T MOBILITY	POLICE-TELEPHONE	2872872010	1	784.34	784.34
04/23	04/19/2023	75518	AT&T MOBILITY	FIRE - CELLULAR	2873130488	1	159.46	159.46
Total 75518:								943.80
75519								
04/23	04/19/2023	75519	BAKER & TAYLOR	ADULT FICTION	2037419682	1	16.82	16.82
04/23	04/19/2023	75519	BAKER & TAYLOR	ADULT FICTION	2037419683	1	33.90	33.90
04/23	04/19/2023	75519	BAKER & TAYLOR	ADULT FICTION	2037419684	1	68.95	68.95
04/23	04/19/2023	75519	BAKER & TAYLOR	ADULT FICTION	2037419685	1	39.31	39.31
04/23	04/19/2023	75519	BAKER & TAYLOR	ADULT NON-FICTION	2037419686	1	170.91	170.91
04/23	04/19/2023	75519	BAKER & TAYLOR	CHILDREN'S BOOKS	2037436619	1	24.11	24.11
04/23	04/19/2023	75519	BAKER & TAYLOR	ADULT FICTION	3279669	1	15.72-	15.72-
Total 75519:								338.28
75520								
04/23	04/19/2023	75520	CENTURYLINK	ADMIN PHONE CHARGE	4/3/2023	1	263.26	263.26
04/23	04/19/2023	75520	CENTURYLINK	POLICE DEPT CHARGES	4/3/2023	2	639.37	639.37
04/23	04/19/2023	75520	CENTURYLINK	MUSEUM DEPT PHONE C	4/3/2023	3	63.84	63.84
04/23	04/19/2023	75520	CENTURYLINK	LIBRARY PHONE CHARG	4/3/2023	4	34.47	34.47
04/23	04/19/2023	75520	CENTURYLINK	AIRPORT PHONE CHARG	4/3/2023	5	243.68	243.68
04/23	04/19/2023	75520	CENTURYLINK	WATER DEPT PHONE CH	4/3/2023	6	288.08	288.08
04/23	04/19/2023	75520	CENTURYLINK	SEWER DEPT PHONE CH	4/3/2023	7	215.56	215.56
Total 75520:								1,748.26
75521								
04/23	04/19/2023	75521	CINTAS CORPORATION #	PROFESSIONAL SERVIC	4151407699	1	90.40	90.40
Total 75521:								90.40
75522								
04/23	04/19/2023	75522	COMELEC INTERNET SE	FD TOWER RENT FOR R	14716	1	500.00	500.00
Total 75522:								500.00
75523								
04/23	04/19/2023	75523	COMMUNICATIONS ENGI	ANNUAL FIRE ALARM INS	400389	1	1,155.00	1,155.00
Total 75523:								1,155.00
75524								
04/23	04/19/2023	75524	CORE & MAIN LP	6" X 25" SLEEVE	S605289	1	352.44	352.44
Total 75524:								352.44
75525								
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CIT	1943202	1	40.14	40.14
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CO	1943202	2	124.41	124.41
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CIT	1943202	3	176.55	176.55
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-AD	1943202	4	194.96	194.96

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-FIN	1943202	5	222.72	222.72
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-PO	1943202	6	2,406.65	2,406.65
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-FIR	1943202	7	160.51	160.51
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-BL	1943202	8	69.52	69.52
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-EN	1943202	9	57.51	57.51
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-ST	1943202	10	538.62	538.62
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-ST	1943202	11	12.44	12.44
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-ST	1943202	12	40.98	40.98
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-RE	1943202	13	192.84	192.84
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CE	1943202	14	67.20	67.20
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-LIB	1943202	15	375.23	375.23
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-MU	1943202	16	69.52	69.52
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-PA	1943202	17	138.11	138.11
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-RE	1943202	18	139.04	139.04
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-PO	1943202	19	3.61	3.61
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CO	1943202	20	124.41	124.41
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-WA	1943202	21	414.42	414.42
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-SE	1943202	22	718.09	718.09
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-EM	1943202	23	884.90	884.90
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	VISION INSURANCE PRE	1943202	24	448.63	448.63
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CO	1943203	1	79.00	79.00
Total 75525:								7,700.01
75526								
04/23	04/19/2023	75526	DOMINION VOTING SYST	ICE ANNUAL LICENSE	DVS147994	1	939.36	939.36
Total 75526:								939.36
75527								
04/23	04/19/2023	75527	EASTMAN CARTWRIGHT	SENIOR CENTER REMO	4530	1	126.88	126.88
04/23	04/19/2023	75527	EASTMAN CARTWRIGHT	SENIOR CENTER REMO	4543	1	27.84	27.84
Total 75527:								154.72
75528								
04/23	04/19/2023	75528	EHLERS INVESTMENT P	MANAGEMENT FEES-CE	04.03.2023	1	9.31	9.31
04/23	04/19/2023	75528	EHLERS INVESTMENT P	MANAGEMENT FEES-WA	04.03.2023	2	19.35	19.35
04/23	04/19/2023	75528	EHLERS INVESTMENT P	MANAGEMENT FEES-SE	04.03.2023	3	63.43	63.43
Total 75528:								92.09
75529								
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	MAINT OF STRUCTURES-	3431242-00	1	259.80	259.80
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	BUILDINGS AND GROUN	3432305-03	1	230.16	230.16
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	BUILDINGS AND GROUN	3435679-00	1	195.50	195.50
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	WATER SUPPLIES	3444089-00	1	22.20	22.20
Total 75529:								707.66
75530								
04/23	04/19/2023	75530	GFC LEASING WI	COPIER LEASE-WATER D	I00813787	1	41.38	41.38
04/23	04/19/2023	75530	GFC LEASING WI	COPIER LEASE-SEWER	I00813787	2	41.38	41.38
Total 75530:								82.76

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
75531								
04/23	04/19/2023	75531	GRANT CTY REGISTER O	RECORDING FEES	03.30.2023	1	90.00	90.00
Total 75531:								90.00
75532								
04/23	04/19/2023	75532	GUNDERSEN HEALTH S	DRUG & ALCOHOL TESTI	4-0482 04.06	1	105.00	105.00
04/23	04/19/2023	75532	GUNDERSEN HEALTH S	DRUG & ALCOHOL TESTI	4-0482 04.06	2	17.50	17.50
04/23	04/19/2023	75532	GUNDERSEN HEALTH S	DRUG & ALCOHOL TESTI	4-0482 04.06	3	17.50	17.50
04/23	04/19/2023	75532	GUNDERSEN HEALTH S	NEW HIRE DRUG & ALCO	4-0482 04.06	4	35.00	35.00
Total 75532:								175.00
75533								
04/23	04/19/2023	75533	INSPIRING COMMUNITY I	ANGIE WRIGHT FIRE STA	221	1	112.50	112.50
04/23	04/19/2023	75533	INSPIRING COMMUNITY I	ANGIE WRIGHT TRAILS	221	2	236.25	236.25
Total 75533:								348.75
75534								
04/23	04/19/2023	75534	LANGE ENTERPRISES IN	MATERIALS FOR SIGNS-	83240	1	1,573.20	1,573.20
Total 75534:								1,573.20
75535								
04/23	04/19/2023	75535	MARTIN EQUIPMENT-DU	PARTS	711252	1	22.51	22.51
Total 75535:								22.51
75536								
04/23	04/19/2023	75536	MENARDS	BALLFIELD DRAG PARTS	13115	1	47.15	47.15
04/23	04/19/2023	75536	MENARDS	ANTI SIEZE	13244	1	6.29	6.29
04/23	04/19/2023	75536	MENARDS	WEED KILLER	13299	1	109.94	109.94
04/23	04/19/2023	75536	MENARDS	PAINT AND PAINTER	13556	1	89.86	89.86
04/23	04/19/2023	75536	MENARDS	RETURN OF PAINT WAN	13559	1	35.98-	35.98-
04/23	04/19/2023	75536	MENARDS	PAINT	13560	1	11.70-	11.70-
04/23	04/19/2023	75536	MENARDS	JACK	13599	1	3.99	3.99
04/23	04/19/2023	75536	MENARDS	SPRING SNAP	13692	1	19.08	19.08
04/23	04/19/2023	75536	MENARDS	MAILBOX	14138	1	13.98	13.98
04/23	04/19/2023	75536	MENARDS	REPAIR PARTS	14310	1	13.87	13.87
04/23	04/19/2023	75536	MENARDS	SHOP DOOR	14439	1	289.00	289.00
Total 75536:								545.48
75537								
04/23	04/19/2023	75537	MIDWEST MOTOR SPOR	FIRE DEPT CHARGES	99045837	1	432.44	432.44
Total 75537:								432.44
75538								
04/23	04/19/2023	75538	MORRISSEY PRINTING I	ELECTION SUPPLIES	58384	1	125.00	125.00
04/23	04/19/2023	75538	MORRISSEY PRINTING I	ENVELOPES-WATER DE	58543	1	297.50	297.50
04/23	04/19/2023	75538	MORRISSEY PRINTING I	ENVELOPES-SEWER DE	58543	2	297.50	297.50
04/23	04/19/2023	75538	MORRISSEY PRINTING I	SEWER DEPT CHARGES	58602	1	22.50	22.50
04/23	04/19/2023	75538	MORRISSEY PRINTING I	WATER DEPT CHARGES	58602	2	22.50	22.50

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
Total 75538:								765.00
75539								
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	BUS 151 FASTENAL AD	1646 3/31/20	1	392.20	392.20
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	ADVERTISING-COMMUNI	1646 3/31/20	2	111.00	111.00
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	ADVERTISING-WEED CO	1646 3/31/20	3	177.60	177.60
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	ADVERTISING-ELECTION	1646 3/31/20	4	122.10	122.10
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	ADVERTISING-ELECTION	1646 3/31/20	5	37.00	37.00
Total 75539:								839.90
75540								
04/23	04/19/2023	75540	PLATTEVILLE REGIONAL	CHAMBER DUES	1778	1	150.00	150.00
Total 75540:								150.00
75541								
04/23	04/19/2023	75541	RACOM CORPORATION	FD - PORTABLE RADIOS	DCSO18661	1	6,666.06	6,666.06
04/23	04/19/2023	75541	RACOM CORPORATION	FD - PORTABLE RADIOS	DCSO18662	1	11,390.88	11,390.88
04/23	04/19/2023	75541	RACOM CORPORATION	FD - PORTABLE RADIOS	DCSO18662	1	8,971.38	8,971.38
Total 75541:								27,028.32
75542								
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY CO	106842767	1	145.85-	145.85-
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY MA	106842767	2	36.46-	36.46-
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY CLE	106842767	3	145.85-	145.85-
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-ADMIN	106842767	4	36.47-	36.47-
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY CO	107118295	1	196.71	196.71
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY MA	107118295	2	49.18	49.18
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY CLE	107118295	3	49.18	49.18
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-ADMIN	107118295	4	196.72	196.72
04/23	04/19/2023	75542	RICOH USA INC	FINANCE RICOH COPIER	107119255	1	239.79	239.79
04/23	04/19/2023	75542	RICOH USA INC	FINANCE RICOH COPIER	107119255	2	53.29	53.29
04/23	04/19/2023	75542	RICOH USA INC	FINANCE RICOH COPIER	107119255	3	239.78	239.78
Total 75542:								660.02
75543								
04/23	04/19/2023	75543	SCENIC RIVERS ENERG	ELECTRICITY-STREET LI	04.01.2023	1	405.13	405.13
04/23	04/19/2023	75543	SCENIC RIVERS ENERG	ELECTRICITY-TRAIL LIGH	04.01.2023	2	76.46	76.46
Total 75543:								481.59
75544								
04/23	04/19/2023	75544	SCHMIDT ELECTRICAL C	WATER PLANT REPAIRS	4639	1	141.20	141.20
Total 75544:								141.20
75545								
04/23	04/19/2023	75545	SCOTT IMPLEMENT	SUPPLIES-CEMETERY	85813	1	256.76	256.76
Total 75545:								256.76

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
75546								
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	1	3.77	3.77
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	2	7.06	7.06
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	3	14.49	14.49
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	4	18.70	18.70
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	5	11.83	11.83
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	6	14.26	14.26
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	7	155.33	155.33
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	8	15.27	15.27
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	9	26.60	26.60
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	10	41.88	41.88
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	11	.68	.68
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	12	12.28	12.28
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	13	6.68	6.68
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	14	4.10	4.10
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	15	100.42	100.42
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	16	8.50	8.50
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	17	12.31	12.31
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	18	26.57	26.57
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	19	30.42	30.42
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	20	1.58	1.58
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	21	38.84	38.84
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	22	102.72	102.72
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	23	108.33	108.33
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	24	183.93	183.93
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	25	482.48	482.48
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	26	112.00	112.00
Total 75546:								1,541.03
75547								
04/23	04/19/2023	75547	SHERWIN WILLIAMS	SUPPLIES-SENIOR CENT	4918-7	1	102.37	102.37
04/23	04/19/2023	75547	SHERWIN WILLIAMS	SUPPLIES-SENIOR CENT	4919-5	1	411.75	411.75
Total 75547:								514.12
75548								
04/23	04/19/2023	75548	SOUTHWEST WI LIBRAR	DIGITAL MEDIA BUYING	1036	1	6,216.18	6,216.18
04/23	04/19/2023	75548	SOUTHWEST WI LIBRAR	PROFESSIONAL SERVIC	1036	2	25,655.49	25,655.49
Total 75548:								31,871.67
75549								
04/23	04/19/2023	75549	SPEE-DEE	WWTP SUPPLIES	787162	1	18.37	18.37
04/23	04/19/2023	75549	SPEE-DEE	WWTP SUPPLIES	789168	1	18.37	18.37
Total 75549:								36.74
75550								
04/23	04/19/2023	75550	THE SHOE BOX	PAUL BOOTS	84721	1	153.00	153.00
Total 75550:								153.00
75551								
04/23	04/19/2023	75551	THERMO FISHER SCIEN	LAB SERVICE	460660	1	1,424.37	1,424.37
04/23	04/19/2023	75551	THERMO FISHER SCIEN	LAB SERVICE - TRAVEL	460660	2	624.03	624.03

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
Total 75551:								2,048.40
75552								
04/23	04/19/2023	75552	TIMMERMAN, MIKE	MIKE BOOTS	1/15/2023	1	269.99	269.99
Total 75552:								269.99
75553								
04/23	04/19/2023	75553	TWIN OAKS LUMBER LLC	SENIOR CENTER CROW	182088	1	853.70	853.70
Total 75553:								853.70
75554								
04/23	04/19/2023	75554	US CELLULAR	CELL PHONE CHARGES-	0572956228	1	226.05	226.05
04/23	04/19/2023	75554	US CELLULAR	CELL PHONE CHARGES-	0572956228	2	226.05	226.05
04/23	04/19/2023	75554	US CELLULAR	CELL PHONE CHARGES-	0572956228	3	31.09	31.09
04/23	04/19/2023	75554	US CELLULAR	CELL PHONE CHARGES-	0572956228	4	31.09	31.09
04/23	04/19/2023	75554	US CELLULAR	CELL PHONE CHARGES-	0572956228	5	64.98	64.98
04/23	04/19/2023	75554	US CELLULAR	CELL PHONE CHGS.-STR	0572956228	6	172.83	172.83
Total 75554:								752.09
75555								
04/23	04/19/2023	75555	VON GLAHN AUTO SALE	FD - VEHICLE REPAIR	24714	1	151.55	151.55
Total 75555:								151.55
75556								
04/23	04/19/2023	75556	WALMART COMMUNITY/	CITY COUNCIL SUPPLIES	4.11.2023	1	30.72	30.72
Total 75556:								30.72
75557								
04/23	04/19/2023	75557	WI DEPT OF JUSTICE	TIME SYSTEM	455TIME-000	1	2,282.25	2,282.25
Total 75557:								2,282.25
75558								
04/23	04/19/2023	75558	WI DEPT OF TRANSPORT	BUSINESS 151 HSIP - PA	395-0000030	1	225.46	225.46
04/23	04/19/2023	75558	WI DEPT OF TRANSPORT	BUSINESS 151 HSIP - PA	395-0000030	2	13,278.05	13,278.05
04/23	04/19/2023	75558	WI DEPT OF TRANSPORT	BUSINESS 151 HSIP - NO	395-0000030	3	561.91-	561.91-
04/23	04/19/2023	75558	WI DEPT OF TRANSPORT	BUSINESS 151 HSIP - NO	395-0000030	4	5.33	5.33
Total 75558:								12,946.93
Grand Totals:								244,443.41



BOARDS AND COMMISSIONS VACANCIES LIST

As of 4/12/23

Board of Appeals (ET Zoning) (partial term ending 4/1/24)
Board of Appeals (ET Zoning) (partial term ending 4/1/25)
Board of Appeals (ET Zoning) Alternate (partial term ending 4/1/25)
Board of Appeals (Zoning) Alternate (partial term ending 10/1/24)
Board of Appeals (Zoning) Alternate (partial term ending 10/1/25)
Board of Review (5 year term ending after 2027 meeting)
Broske Center Care Committee (5 - non-expiring terms)
Historic Preservation Commission (partial term ending 5/1/24)
Historic Preservation Commission - Alternate (partial term ending 5/1/24)
Library Board (3 year terms ending 5/1/26)
Plan Commission (partial term ending 5/1/24)
Plan Commission (2 - 3 year terms ending 5/1/26)
Police & Fire Commission (5 year term ending 5/1/28)
Public Transportation Committee (3 year term ending 9/1/25)
Redevelopment Authority Board (partial term ending 7/1/23)
Redevelopment Authority Board (2 - partial terms ending 7/1/27)
Taskforce on Inclusion, Diversity, and Equity (TIDE) (3 terms non-expiring)

UPCOMING VACANCIES - June 2023

Parks, Forestry, & Recreation Committee (2 - 3 year terms ending 6/1/26)

Application forms for the City of Platteville Boards and Commissions are available in the City Clerk's office in the Municipal Building at 75 N Bonson Street, Platteville, WI or online at www.platteville.org. Please note that most positions require City residency.

PROPOSED LICENSES

April 25, 2023

Change of Agent for “Class A” Combination License

- Kwik Trip Inc, Platteville (Edmund J Hill, Agent), for premises at 430 S Water Street (Kwik Trip 795)

One Year Operator License

- none

Two Year Operator License

- Maya J Harvey
- Kerstin R Miller
- Lindsey A Walton
- Andrew S Weber
- Meghan C Wellnitz-Trejo

“Class A” Combination License contingent upon passing all inspections

- Lisa Haas, Platteville, WI, for Premises at 130 Market Street (B.S.R. Boutique & Novelties)

City of Platteville Street / Alley Closing Permit Application Form

Describe Street / Alley to be Closed:

Second Street from Main Street to Furnace Street
Mineral Street from Oak Street to Third Street

Date(s):

Saturday, July 15, 2023

Beginning Time:

8:00 AM

Ending Time:

Midnight

List Names and Street Addresses of all Persons/Businesses Affected Below:

Approval

Red N Debi's	60 E. Mineral St.	Deb Chandler	<input checked="" type="radio"/>	or	N
VFW	110 E. Mineral St.	Tina Lynch	<input checked="" type="radio"/>	or	N
Players	50 E. Mineral St		<input checked="" type="radio"/>	or	N
Brothers on 2nd	90 N. 2nd St.		<input checked="" type="radio"/>	or	N
School Girlz Bar	55 N. 2nd St.		<input checked="" type="radio"/>	or	N
The Comradeerie	65 N. 2nd St.		<input checked="" type="radio"/>	or	N
Nicks Bar	74 N. 2nd St.		<input checked="" type="radio"/>	or	N
The Public House	30 N. 2nd St.		<input checked="" type="radio"/>	or	N
Char Bar	60 N. 2nd St.		<input checked="" type="radio"/>	or	N
AC Motors	150 N. 2nd St.		<input checked="" type="radio"/>	or	N

NOTE: Attach additional sheets if necessary or use back side

Name of Requestor:

Platteville Regional Chamber - Wayne Wodasz

Address of Requestor:

275 W. Bus. Hwy 151, Platteville, WI 53818

Requestor's Contact Number:

608-348-8888 director@platteville.com

Reason for Request:

Annual Southwest Music Festival

NOTE: Call the City Garage at 348-8828 to request barricades if needed. If City barricades are to be used, they must be picked up no later than **2 PM on the Thursday** before usage! City personnel will not be called in on Friday, Saturday or Sunday if this is forgotten.

I affirm that I have checked with all of the persons that are affected by this requested street closing. The objections are listed on an attached sheet.

Signature:

Wayne Wodasz, Exec Director Date: April 5, 2023

Do Not Write Below this Line - For Office Use Only

Police Department Review:

Street Department Review:

Common Council Review Date:

Decision:

Approved

or

Denied

City Clerk:

Date:

City of Platteville

Street / Alley Closing Permit Application Form

Describe Street / Alley to be Closed:

Date(s):

Beginning Time:

Ending Time:

List Names and Street Addresses of all Persons/Businesses Affected Below:

Approval

7 Hills	92 East Main St.		<input checked="" type="radio"/> Y	or	N
Budger Bar	35 N. 2nd St.	Therese Carlini	<input checked="" type="radio"/> Y	or	N
The Gym	75 N. 2nd St.		<input checked="" type="radio"/> Y	or	N
Owl Cafe	80 N. 2nd St.	Beggy Benfield	<input checked="" type="radio"/> Y	or	N
Boondocks	70 N. 2nd St.		<input checked="" type="radio"/> Y	or	N
Bistro Se Ten Ginas	45 N. 2nd St.		<input checked="" type="radio"/> Y	or	N

NOTE: Attach additional sheets if necessary or use back side

Name of Requestor:

Address of Requestor:

Requestor's Contact Number:

Reason for Request:

NOTE: Call the City Garage at 348-8828 to request barricades if needed. If City barricades are to be used, they **must be picked up no later than 2 PM on the Thursday** before usage! City personnel will not be called in on Friday, Saturday or Sunday if this is forgotten.

I affirm that I have checked with all of the persons that are affected by this requested street closing. The objections are listed on an attached sheet.

Signature:

Date:

Do Not Write Below this Line – For Office Use Only

Police Department Review:

Street Department Review:

Common Council Review Date:

Decision: Approved or Denied

City Clerk:

Date:



April 5, 2023

Barb Daus, President
City Council
75 N. Bonson Street
Platteville, WI 53818

Re: Southwest Music Festival

Dear Ms. Daus:

The Platteville Regional Chamber has successfully hosted our Southwest Music Festival as part of our Hometown Festival Week for the past several years. Our Committee has been meeting to make plans for our 7th annual event on Saturday, July 15th, 2023 from 11 AM to midnight.

The basics of our event are very similar as they have been in the past. We wish to have open intoxicants within the fenced area and we are respectfully requesting that the City suspend the ordinance prohibiting open intoxicants on the street on Saturday, July 15th from 11AM to midnight. We anticipate approximately 1400 attendees and will make decisions regarding health and safety protocols if the situation dictates.

The location will be in the downtown area as shown on the attached map. We wish to close the following streets:

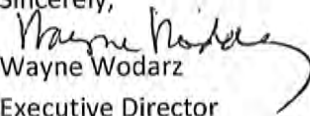
Second from Mineral to Furnace from 8AM to midnight; and

Second Street from Main to Mineral and Mineral Street from Oak to Third from 8 AM to midnight;

We are attaching the Street Closing Permit with the necessary signatures of those businesses/individuals within the fenced off area. Please be aware that the Southwest Auto Club has requested Main Street to be closed as it was last year for a Cruise In event.

There will be 3 entry locations to the area that will be staffed with volunteers. There will be one licensed bartender at each gate at all times to assist with identification checks and work in conjunction with the Platteville PD to ensure all bases are covered. Persons entering the area will pay a \$25 gate fee (\$20 in advance) and receive a wristband indicating the individual is of age. We will not allow outside vendors inside the fenced area. Staging for entertainment will be in the fenced in area (live music until midnight).

Thank you for your consideration.

Sincerely,

Wayne Wodarz
Executive Director

We are asking for Second Street from Main Street to Mineral Street to be closed from 8 am to Midnight, as well as Mineral Street from Oak Street to Third Street. This year there will be more set up taking place with an additional stage being placed on the level near 60 N. Second.

Our plans are to open the gates at 11 am and have the entertainment begin at 11:30 am. We will publicize the street closing and parking opportunities for those impacted by the earlier street closure.

Southwest Music Festival

July 15, 2023



Key

-  Event Boundaries
-  Fence Locations

SAVE THE DATE

Southwest Music Fest

July 15, 2023



On Historic 2nd Street Platteville, WI

Two Stages! ★ **Four Bands!**

Gates Open at 11:00 am

Tickets: \$25 at Gate or \$20 in Advance
(Advance Ticket Sales Begin May 1st)

Kick Off Stage

South End of 2nd Street

11:30 am - 1:30 pm

Stolen Grace

local band from Dubuque, IA

2:00 pm - 4:00 pm

Donice Morace

*2022 Emerging Artist of the Year at
Texas Country Music Awards*

Main Stage

North End of 2nd Street

5:00 pm - 8:00 pm

Sonic Circus

*featuring Platteville Native,
Jeremy Martens*

9:00 pm - Midnight

Madison County

*WAMI People's Choice Award Winner
for 6 years*

For more details and band biographies visit:
www.platteville.com

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

**COUNCIL SECTION:
CONSIDERATION OF
CONSENT AGENDA
ITEM NUMBER:
V.F.**

**TITLE:
2023 Arbor Day Proclamation**

**DATE:
April 25, 2023
VOTE REQUIRED:
Majority**

PREPARED BY: Bob Lowe, Parks and Recreation Director

Description:

Annually the City of Platteville recognizes Arbor Day and the benefits the parks and other natural areas in the community provide to the citizens.

Attachments:

- Proclamation



PROCLAMATION 2023 ARBOR DAY

Whereas, natural areas, trees, and landscapes provide not only community beautification but also economic and environmental benefits; and

Whereas, trees provide many benefits to the community, including air purification, windbreaks, noise reduction, shade, and energy savings; and

Whereas, planting trees and maintaining older trees provides an opportunity for community interaction, volunteerism, economic development, and environmental conservation; and

Whereas, our efforts to improve the environment benefit present and future generations; and

Be it Therefore Resolved, I, Barbara Daus, Council President of the City of Platteville, State of Wisconsin do hereby proclaim April 28, 2023, as Arbor Day in the City of Platteville, and encourage all citizens to participate in appropriate activities and to take advantage of the benefits of the parks and other natural areas in our community.

In Witness Whereof, I have hereunto set my hand and caused the Seal of the City of Platteville to be affixed.

Barbara Daus, Common Council President

Signed this 25th day of April 2023 in the
City of Platteville, Grant County, Wisconsin

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

COUNCIL SECTION: REPORTS ITEM NUMBER: VII.A.	TITLE: Board, Commission, and Committee Minutes	DATE: April 25, 2023 VOTE REQUIRED: None
PREPARED BY: Colette Steffen, Administrative Assistant II		

Description:

Approved minutes from recent Boards and Commissions meetings. Council representative may give a summary of the meeting.

Budget/Fiscal Impact:

None

Attachments:

- Water and Sewer Commission

WATER & SEWER COMMISSION MINUTES
WEDNESDAY, February 8, 2023
4:00 PM

Water and Sewer Commission President Martens called the Regular Meeting of the City of Platteville Water and Sewer Commission to order on Wednesday, February 8th at 4:00 pm.

W/S Commission members present: Cindy Martens, Ken Kilian, Eileen Nickels, Barb Daus, Chris Wilson (via Zoom)

W/S Commission members excused/absent: Brian Laufenberg, Jim Schneller

City Staff present: Public Works Director - Howard Crofoot, Interim City Manager/Administration Director – Nicola Maurer, Comptroller – Sheila Horner, Utility Superintendent- Irv Lupee

City Staff excused:

Public present:

Citizens' Comments –

- Crofoot & Maurer provided a brief verbal update on the recruitment process for the Utility Superintendent position
- Crofoot also provided a brief verbal update on the Jefferson St easements.

The Consent Agenda was presented for consideration. **Motion by Daus, second by Nickels to approve the Consent Calendar:** January 11, 2023 Regular Minutes, January 2023 Financial Reports, January Bank Reconciliation & Investments Reports, Payment of Bills (1/5/2023-2/3/2023), January Water Quality Report. **Motion carried.**

ACTION ITEMS:

None

ITEMS OF DISCUSSION:

Update on 275 Lily St/750 Valley Road – Crofoot reported that all documents have been signed and Lawinger's attorney will file them.

Emmi Roth Development Agreement Update – No updates at this time – Maurer will be contacting the City's attorney to draft a "Right of First Refusal".

MoundView Dairy pH Levels – Crofoot reported that he is working with the City's attorney to take legal action against MoundView Dairy due to the violations of the ordinance. There are no updates on what MoundView is doing on their end to correct the issue with the high pH levels.

Motion made by Daus second by Kilian to adjourn. Motion carried.

Meeting adjourned at 4:31 pm.

Respectfully Submitted,
Sheila Horner
Comptroller

WATER & SEWER COMMISSION MINUTES

WEDNESDAY, March 8, 2023

4:00 PM

Water and Sewer Commission President Martens called the Regular Meeting of the City of Platteville Water and Sewer Commission to order on Wednesday, March 8th at 4:06 pm.

W/S Commission members present: Cindy Martens, Ken Kilian, Eileen Nickels, Barb Daus, Chris Wilson (via Zoom), Brian Laufenberg (via Zoom)

W/S Commission members excused/absent: Jim Schneller

City Staff present: Public Works Director - Howard Crofoot (via Zoom), Interim City Manager/Administration Director – Nicola Maurer, Comptroller – Sheila Horner, Utility Superintendent- Irv Lupee

City Staff excused:

Public present: Dan Dreessens, Delta 3 Engineering; Hannah Wieczorek & Brandon Jesse, UWP Students

Recognition of Superintendent Lupee for 19 ½ years of service to the City of Platteville

Citizens' Comments –

The Consent Agenda was presented for consideration. **Motion by Daus, second by Kilian to approve the Consent Calendar:** February 8, 2023 Regular Minutes, February 2023 Financial Reports, February Bank Reconciliation & Investments Reports, Payment of Bills (2/4/2023-3/3/2023), February Water Quality Report. **Motion carried.**

ACTION ITEMS:

Contract 1-23 Jefferson St Reconstruction – Crofoot reported that the lowest bid for the Water & Sewer portion for Contract 1-23 Jefferson Street Reconstruction was from Temperley Excavating Inc at \$393,872.50. This was \$90,927.50 under budget.

Motion made by Nickels, second by Daus to award the Water & Sewer portion of the bid for Contract 1-23 Jefferson St Reconstruction to Temperley Excavating Inc for \$393,872.50. Motion carried.

Contract 2-23 McGregor Plaza Sewer Replacement – Crofoot reported that the lowest bid for Contract 2-23 McGregor Plaza Sewer Replacement was from G-Pro Excavating LLC at \$271,061.40. This was \$288,938.60 under budget due to a redesign of the project.

Motion made by Daus, second by Kilian to award the bid for Contract 2-23 McGregor Plaza Sewer Replacement to G-Pro Excavating LLC for \$271,061.40. Motion carried with Laufenberg abstaining.

Consumer Confidence Report -2022 – Crofoot presented the Consumer Confidence Report for 2022 and addressed commission member questions.

Motion made by Daus, second by Nickels to allow staff to distribute the 2022 Consumer Confidence Report. Motion carried.

ITEMS OF DISCUSSION:

Update on Utility Superintendent Hiring – Maurer reported that there are two candidates that will be interviewed. Maurer also reported that Crofoot is working with a consultant that will provide support for the position during the transition.

Discussion of Possible Additional Projects – Crofoot presented three potential projects that could be completed due the Contracts 1-23 & 2-23 bids coming in under budget:

1. W. Adams St (Chestnut to N. Court). This would entail replacing water as well as sewer lines. The hydrant at the intersection of Adams and Court has a manufacturing date of 1939. It is expected that the water line dates

from the same period. Water mains and hydrants normally last 70 – 75 years. The sewer line is old and our cameras cannot scope the line due to offset joints. In 2021 we did water and sewer replacement on Commerce St with no sidewalk or curb & gutter replacement. Water & Sewer paid for the full paving. For W. Adams, we should coordinate with the Fire Station project and correct the crown. This would save funds for the building project. This project is estimated at \$321,195.00.

2. N. Court St (Adams to Lewis). This would complete the block around the new Fire Station. The rest of the streets have been reconstructed over the previous 20 years. The water and sewer dates from the late 70's or early 80's. This project is estimated at \$241,715.00.
3. Sewer easement between N. Chestnut and Elm St north of Lewis St. The maintenance crew has a hard time cleaning and televising this section. The lines on both sides have been replaced recently. This would be just a sewer project and the least cost of the three. This project is estimated at \$77,365.00.

Crofoot was seeking guidance on whether to pursue any of the potential projects. The commission advised Crofoot to move forward with Option #1

Emmi Roth Development Agreement Update – Maurer reported that Attorney Cole is drafting a “Right of First Refusal”. After the draft is complete, it will be brought to the Common Council. If approved by the Council, it will then be delivered to Emmi Roth.

MoundView Dairy pH Levels – Crofoot reported that the legal process is ongoing. Lupee has met with MoundView Dairy and he reported that they discovered issues with their plumbing. They are in the process of repairing the plumbing (at their cost) in order to correct the high pH Levels.

Motion made by Nickels, second by Daus to adjourn. Motion carried.

Meeting adjourned at 4:40 pm.

Respectfully Submitted,
Sheila Horner
Comptroller

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

**COUNCIL SECTION:
ACTION
ITEM NUMBER:
VIII.A.**

**TITLE:
Release of Citations for Donisi Properties**

**DATE:
April 25, 2023
VOTE REQUIRED:
Majority**

PREPARED BY: Joe Carroll, Community Development Director

Description:

The City has issued approximately 765 citations to Dave Donisi between March of 2020 and January of 2023 – primarily regarding property maintenance issues for several of his properties. He has been found guilty on all of them. His properties are now in the hands of Reliable Guardianship Services, Inc., a court-appointed guardian who is trying to sell the properties. Some of the properties are vacant and some are occupied, but as they become vacant and cleaned out they are being listed for sale. The 11 properties in the City and 1 property in the Township will be sold to pay off Mr. Donisi’s debts. It appears that the value of the properties is not adequate to cover all the debt and liens that are in place on the properties. The attorney working with the guardian is asking if the City would be willing to sign a release for these citations to help expedite the sale of the properties. It appears that a similar request is being made to other debtors and lienholders that are involved in the properties.

Below is some additional information related to the 11 properties in the City and their sale status.

Property Address	Assessed Value	Sale Status	Accepted Offer	Asking Price
375 W. Adams Street	\$88,100	Pending	\$50,000	
190 N. Elm Street	\$127,000			
730 Fremont Street	\$107,500	Contingent	\$60,000	
160 N. Hickory Street	\$147,800	Pending	\$135,000	
180 N. Hickory Street	\$135,000			
420 N. Hickory Street	\$135,100	For Sale		\$115,000
680 N. Hickory Street	\$218,900	For Sale		\$199,900
420 Market Street	\$138,100	Pending	\$85,000	
135 N. Water Street	\$87,300	Contingent	\$45,000	
155 N. Water Street	\$212,400	Contingent	\$102,500	
355 N. Water Street	\$92,000	For Sale		\$60,000

The debtors on the properties include a local bank lender, a trust fund acting as a private lender, the Wisconsin Department of Revenue, Grant County Circuit Court, and the City.

The total cost of the 765 citations would be approximately \$249,000, although most of that would be court costs. The City’s portion would be approximately \$114,000.

The City’s actual costs related to the properties would be through staff time investigating the properties and issuing the citations. This cost is estimated at approximately \$7,500. None of the citations were challenged by the property owner, meaning he didn’t plead not guilty and did not show up in court, which means they were default judgements and there are no City attorney fees involved with the properties.

Budget/Fiscal Impact:

The request may have an initial negative budget impact due to the value of the citations being reduced or eliminated. Long-term there should be a positive benefit due to the anticipated improvements that will be made to the properties after they are sold.

Recommendation:

The Council needs to consider the release of the citations in order to expedite the sale of the properties.

Sample Affirmative Motion:

“Motion to approve the release of the municipal citations that have been issued against the properties owned by David Donisi.”

Attachments:

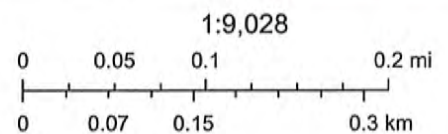
- Property Location Map
- Information on the properties.

PROPERTIES OWNED BY DAVID DONISI



4/4/2023, 4:19:04 PM

- Centerlines
- UWP Places
- DONISI PROPERTIES
- Parcel Data (2022)
- City Boundary
- Landmark Names





< Back Platteville, WI



Presented by: Geri Zauche
Brokered by: Potterton Rule Real Estate Platteville



Veterans: Check 2023 VA Loan Re See how much home you can af

Pending

\$70,000 Est. \$490/mo

Studio 1.5 bath 1,092 sqft 6,534 sqft lot

375 W Adams St, Platteville, WI 53818

Single family
Property type

35 days
Time on Realtor.com

\$64
Price per sqft

1920
Year built

Commute time: Add a commute

Ask a question

Share this home

2023 VA Loan Requirements (Check Today!)

Open houses

Property Details

Monthly payment

Connect With A Lender

Veterans & military benefits

Sponsored by Veterans United

Property history

Neighborhood

Environmental risk Flood, Wildfire

Schools

RealEstimateSM

Nearby home values

Home inspiration NEW



< Back Platteville, WI



Veterans: Check 2023 VA Loan Re See how much home you can afi

Contingent

\$60,000 Est. \$419/mo

0.24 acre lot

730 Fremont St, Platteville, WI 53818

Multi-Family
Property type

70 days
Time on Realtor.com

Commute time: Add a commute

1910
Year built

Street View

Ask a question Share this home

Veterans United Veterans: Your 2023 VA Loan (Check Requirements)

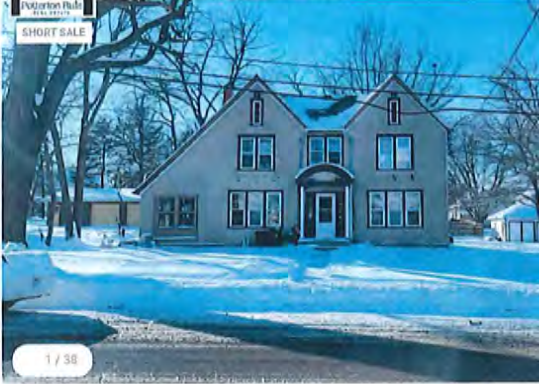
- Open houses
- Property Details
- Monthly payment
- Connect With A Lender
- Veterans & military benefits
Sponsored by Veterans United
- Property history
- Neighborhood
- Environmental risk Flood, Wildfire
- Schools
- RealEstimateSM
- Nearby home values
- Home inspiration NEW



Back Platteville, WI



Presented by: Geri Zauche
Brokered by: Potterton Rule Real Estate Platteville



6% Down for Veterans: Check 2023 re

See how much home you can afi

Pending

\$120,000 Est. \$839/mo

4 bed 2 bath 2,128 sqft 0.33 acre lot

160 N Hickory St, Platteville, WI 53818

Single family
Property type

63 days
Time on Realtor.com

\$56
Price per sqft

1900
Year built

Commute time: Add a commute

Street View

Ask a question Share this home

Veterans: Your 2023 VA Loan (Check Requirements)

- Open houses
- Property Details
- Monthly payment
- Connect With A Lender
- Veterans & military benefits
Sponsored by Veterans United
- Property history
- Neighborhood
- Environmental risk Flood, Wildfire
- Schools
- RealEstimateSM
- Nearby home values
- Home inspiration NEW

420 N Hickory ST
Platteville, WI 53818

\$115,000

Beds: 3 Baths: 2 Sq. Ft.: 1,108 Type: House



Listing Courtesy of

Potterton-Rule Inc Off: 608-348-8213

Listing #1948898

Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval. Currently rented until 6/1/2023 for \$ 750/month. Water softener leaks and there is evidence of black mold in the home.

Property Features

Location Information

County: Grant

MLS Area: PLATTEVILLE - C

Subdivision: Hillside Addition

Interior Features

Barrier Free: Level drive

Number of Bedrooms: 3

Primary Bedroom On Main: Yes

Primary Bathroom Description: None

Heating/Cooling: Forced air

Fuel: Natural gas

Basement Description: Full

Exterior Features

Style: Ranch

Exterior: Vinyl

Water: Municipal sewer, Municipal water

Parking Description: 2 car, Attached

Garage Spaces: 2

Driveway: Paved

Lot Size in Acres: 0.15

Garage Description: 2 car, Attached



< Back Platteville, WI



0% Down for Veterans: Check 2023 re [See how much home you can aff](#)

Pending
\$90,000 Est. \$629/mo

4 bed 2 bath 1,678 sqft 0.47 acre lot

420 Market St, Platteville, WI 53818

Single family
 Property type

77 days
 Time on Realtor.com

Commute time: [Add a commute](#)

\$54
 Price per sqft

1890
 Year built

[Ask a question](#) [Share this home](#)

Veterans United 2023 VA Loan Requirements (Check Today!)

- Open houses
- Property Details
- Monthly payment
- Connect With A Lender
- Veterans & military benefits
Sponsored by Veterans United
- Property history
- Neighborhood
- Environmental risk Flood, Wildfire
- Schools
- RealEstimateSM
- Nearby home values
- Home inspiration REVI

135 N Water ST
Platteville, WI 53818

\$70,000 (Offer-Show)

Beds: 4 Baths: 1 | 1 Sq. Ft.: 1,652 Type: House



Listing Courtesy of
Potterton-Rule Inc Off: 608-348-8213

Listing #1948911

Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval.

Property Features

Location Information	
County: Grant	MLS Area: PLATTEVILLE - C
Subdivision: Carl Addition	
Interior Features	
Number of Bedrooms: 4	Primary Bathroom Description: None
1/2 Baths: 1	Heating/Cooling: Forced air
Fuel: Natural gas	Basement Description: Full
Exterior Features	
Style: National Folk/Farm	Exterior: Aluminum/Steel
Water: Municipal sewer, Municipal water	Parking Description: None
Driveway: Paved	Lot Size in Acres: 0.11
Garage Description: None	Outdoor: Deck
School	
School District: Platteville	Elementary School: Call School District
Jr. High School: Platteville	High School: Platteville
Additional Information	



< Back Platteville, WI



Presented by: Geri Zauche
Brokered by: Potterton Rule Real Estate Platteville



Veterans: Check 2023 VA Loan Re

See how much home you can aff

Contingent

\$99,900 Est. \$698/mo

1,436 sqft 0.55 acre lot

155 N Water St, Platteville, WI 53818

Multi-Family
Property type

68 days
Time on Realtor.com

\$70
Price per sqft

2 cars
Garage

1900
Year built

Commute time: Add a commute

Ask a question

Share this home

2023 VA Loan Requirements (Check Today!)

Open houses

Property Details

Monthly payment

Connect With A Lender

Veterans & military benefits

Sponsored by Veterans United Home Loans

Property history

Neighborhood

Environmental risk Flood, Wildfire

Schools

RealEstimateSM

Nearby home values

355 N Water ST
Platteville, WI 53818

\$60,000

Beds: 4 Baths: 1 Sq. Ft.: 1,295 Type: House



Listing Courtesy of
Potterton-Rule Inc Off: 608-348-8213

Listing #1948925

Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval.

Property Features

Location Information	
County: Grant	MLS Area: PLATTEVILLE - C
Subdivision: Carl Addition	
Interior Features	
Number of Bedrooms: 4	Primary Bedroom On Main: Yes
Primary Bathroom Description: None	Heating/Cooling: Forced air
Fuel: Natural gas	Basement Description: Partial
Exterior Features	
Style: National Folk/Farm	Exterior: Fiber cement
Water: Municipal sewer, Municipal water	Parking Description: 1 car, Detached
Garage Spaces: 1	Driveway: Paved
Lot Size In Acres: 0.4	Garage Description: 1 car, Detached
School	
School District: Platteville	Elementary School: Call School District
Jr. High School: Platteville	High School: Platteville
Additional Information	

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

COUNCIL SECTION: INFORMATION & DISCUSSION ITEM NUMBER: VIII.A.	TITLE: DNR Resolutions for DNR Trail Grants	DATE April 25, 2023 VOTE REQUIRED: Majority
PREPARED BY: Howard B. Crofoot, P.E. Director of Public Works		

Description:

The DNR has replaced the requirement for Resolutions of support with a form that takes the place of the previous Resolutions. For this grant cycle due May 1, the City is requesting DNR grants to match DOT grants applied for earlier this year. The City is using lessons learned from the failed grant requests from last year to break the Moundview Park Trail Connector project into four phases. The first three phases have been submitted for consideration for the DOT with Design in 2024 and Construction in 2025. This lines up with the DNR grant cycle. The fourth phase of the project was requested for Design in 2025 and Construction in 2026. That can be requested under the next DNR grant cycle.

Phase 1 is from the paved and lit Rountree Branch Trail near the bridge behind J&N Stone and continues north on the gravel trail to Mitchell Hollow Road. Phase 2 is from Mitchell Hollow to Broadway/County B – except for the footbridge. Phase 3 is from Broadway/County B to Fairfield Drive north of the High School. Phase 4 (next year’s grant) is for the footbridge. See enclosed map.

Each of Phases 1 – 3 will convert the existing gravel trail to a paved and lit trail like the Rountree Branch Trail. Since the funding sources are different, snowmobiles can still use the trail when completed as long as there is enough snow to minimize damage.

Since we are making three requests, we need three Resolutions using the required DNR forms. These requests say that the City will pledge the local match.

Budget/Fiscal Impact:

Phase 1: Due to constraints under the DOT grant, Staff proposed that the Design cost of \$60,000 be 100% funded locally. Construction cost of \$508,521 would be funded 80/20 with the DOT paying \$406,817 and the City paying \$101,704. The DNR would fund up to 50% of the Design cost and the 20% City share for Construction. If awarded both grants, the shares would be \$406,817 by DOT, \$131,704 by DNR and \$30,000 by the City. If the City is NOT awarded the DOT grant, the DNR grant would pay up to 50%, or \$284,260.50 and the City would be responsible for the other half.

Phase 2: Due to constraints under the DOT grant, Staff proposed that the Design cost of \$60,000 be 100% funded locally. Construction cost of \$474,775 would be funded 80/20 with the DOT paying \$379,820 and the City paying \$94,955. The DNR would fund up to 50% of the Design cost and the 20% City share for Construction. If awarded both grants, the shares would be \$379,820 by DOT, \$124,955 by DNR and \$30,000 by the City. If the City is NOT awarded the DOT grant, the DNR grant would pay up to 50%, or \$267,387.50 and the City would be responsible for the other half.

Phase 3: Due to constraints under the DOT grant, Staff proposed that the Design cost of \$60,000 be 100% funded locally. Construction cost of \$724,905 would be funded 80/20 with the DOT paying

\$579,924 and the City paying \$144,981. The DNR would fund up to 50% of the Design cost and the 20% City share for Construction. If awarded both grants, the shares would be \$579,924 by DOT, \$174,981 by DNR and \$30,000 by the City. If the City is NOT awarded the DOT grant, the DNR grant would pay up to 50%, or \$392,452.50 and the City would be responsible for the other half.

We got in trouble with the DNR last year because of the delay in declining the grant. They would be disappointed if we did not accept a grant, if awarded, this year, but can work with us as long as we make the decision to accept/decline rapidly. We should decide up front whether we will accept trail grants without being awarded both DOT and DNR grants.

Recommendation:

Staff recommends the Common Council pass a motion to approve Resolution 23-xx, DNR Trail Grant Phase 1, Resolution 23-xx, DNR Trail Grant Phase 2, and Resolution 23-xx, DNR Trail Grant Phase 3.

Sample Affirmative Motion:

“Move to approve Resolution 23-xx, DNR Trail Grant Phase 1, Resolution 23-xx, DNR Trail Grant Phase 2, and Resolution 23-xx, DNR Trail Grant Phase 3.”

Attachments:

- Resolution 23-xx DNR Trail Grant – Phase 1
- Resolution 23-xx DNR Trail Grant – Phase 2
- Resolution 23-xx DNR Trail Grant – Phase 3
- Map

Instructions: Each applicant must submit to the Wisconsin Department of Natural Resources (DNR) an *Authorizing Resolution* that is approved by the governing body of the organization and indicates which officers or employees of the organization are authorized to do the following:

1. Sign and submit the grant application
2. Sign the Agreement/Contract between applicant and the DNR
3. Submit required reports to the DNR to satisfy the Agreement/Contract (See Agreement/Contract for Requirement, if any)
4. Submit reimbursement request(s) to the DNR
5. Sign and submit other required documentation that maybe required for your specific project.

We strongly recommend that the applicant indicates the authorized person(s) by the title of position in the Authorizing Resolution, rather than by the name of the employee or officer. Employees have been known to retire or change jobs in the middle of a project, and, were this to happen, your resolution would be ineffective if it only lists the employee by name. If your organization requires that a person be named in an Authorizing Resolution, then the resolution should also include the title of position and contact information for the named individual.

Note: If applicant is required to submit a draft "intergovernmental agreement (IGA)" along with your agreement, an Authorizing Resolution is not a substitute for an IGA.

STANDARD AUTHORIZING RESOLUTION

WHEREAS, (*applicant*) City of Platteville is interested in obtaining a cost-share grant from the Wisconsin Department of Natural Resources (DNR) for the purpose of Moundview Trail Connector - Phase I (as described in the application);

WHEREAS, the respondent attests to the validity and veracity of the statements and representations contained in the application;

WHEREAS, an Agreement/Contract is required to carry out the project; and
 NOW, THEREFORE, BE IT RESOLVED, that (*applicant*) City of Platteville

will meet the financial obligations necessary to fully and satisfactorily complete the project and hereby authorizes and empowers the following officials or employees to submit the following documents to the DNR for financial assistance that may be available:

Task	Title of Authorized Representative	Email address and phone number if alternative is used
Sign and submit application	City Manager	citymanager@platteville.org / 608.348.1821
Enter into an Agreement/Contract with the DNR	City Manager	citymanager@platteville.org / 608.348.1821
Submit required reports to the DNR to satisfy the Agreement/Contract, as appropriate	Director of Public Works	crofooth@platteville.org / 608.348.1826
Submit reimbursement request(s) to the DNR per the Agreement/Contract	Comptroller	horners@platteville.org / 608.348.1822
Sign and submit other documentation as necessary to complete the project per the Agreement/Contract	Director of Public Works	crofooth@platteville.org / 608.348.1826

BE IT FURTHER RESOLVED that respondent will comply with all local, state, and federal rules, regulations, and ordinances relating to this project and the cost-share Agreement/Contract.

I hereby certify that the foregoing resolution was duly adopted by Platteville Common Council at a legal meeting held on this 9th day of May, 2023.

Authorized Signature _____ Date _____

Title City Manager

NOTE: The Authorized Signature and the Representative should not be the same person, unless minutes of the meeting where the resolution was adopted are attached.

Instructions: Each applicant must submit to the Wisconsin Department of Natural Resources (DNR) an *Authorizing Resolution* that is approved by the governing body of the organization and indicates which officers or employees of the organization are authorized to do the following:

1. Sign and submit the grant application
2. Sign the Agreement/Contract between applicant and the DNR
3. Submit required reports to the DNR to satisfy the Agreement/Contract (See Agreement/Contract for Requirement, if any)
4. Submit reimbursement request(s) to the DNR
5. Sign and submit other required documentation that maybe required for your specific project.

We strongly recommend that the applicant indicates the authorized person(s) by the title of position in the Authorizing Resolution, rather than by the name of the employee or officer. Employees have been known to retire or change jobs in the middle of a project, and, were this to happen, your resolution would be ineffective if it only lists the employee by name. If your organization requires that a person be named in an Authorizing Resolution, then the resolution should also include the title of position and contact information for the named individual.

Note: If applicant is required to submit a draft "intergovernmental agreement (IGA)" along with your agreement, an Authorizing Resolution is not a substitute for an IGA.

STANDARD AUTHORIZING RESOLUTION

WHEREAS, (*applicant*) City of Platteville is interested in obtaining a cost-share grant from the Wisconsin Department of Natural Resources (DNR) for the purpose of Moundview Trail Connector - Phase 2 (as described in the application);

WHEREAS, the respondent attests to the validity and veracity of the statements and representations contained in the application;

WHEREAS, an Agreement/Contract is required to carry out the project; and
 NOW, THEREFORE, BE IT RESOLVED, that (*applicant*) City of Platteville

will meet the financial obligations necessary to fully and satisfactorily complete the project and hereby authorizes and empowers the following officials or employees to submit the following documents to the DNR for financial assistance that may be available:

Task	Title of Authorized Representative	Email address and phone number if alternative is used
Sign and submit application	City Manager	citymanager@platteville.org / 608.348.1821
Enter into an Agreement/Contract with the DNR	City Manager	citymanager@platteville.org / 608.348.1821
Submit required reports to the DNR to satisfy the Agreement/Contract, as appropriate	Director of Public Works	crofooth@platteville.org / 608.348.1826
Submit reimbursement request(s) to the DNR per the Agreement/Contract	Comptroller	horners@platteville.org / 608.348.1822
Sign and submit other documentation as necessary to complete the project per the Agreement/Contract	Director of Public Works	crofooth@platteville.org / 608.348.1826

BE IT FURTHER RESOLVED that respondent will comply with all local, state, and federal rules, regulations, and ordinances relating to this project and the cost-share Agreement/Contract.

I hereby certify that the foregoing resolution was duly adopted by Platteville Common Council at a legal meeting held on this 9th day of May, 2023.

Authorized Signature _____ Date _____

Title City Manager

NOTE: The Authorized Signature and the Representative should not be the same person, unless minutes of the meeting where the resolution was adopted are attached.

Instructions: Each applicant must submit to the Wisconsin Department of Natural Resources (DNR) an *Authorizing Resolution* that is approved by the governing body of the organization and indicates which officers or employees of the organization are authorized to do the following:

1. Sign and submit the grant application
2. Sign the Agreement/Contract between applicant and the DNR
3. Submit required reports to the DNR to satisfy the Agreement/Contract (See Agreement/Contract for Requirement, if any)
4. Submit reimbursement request(s) to the DNR
5. Sign and submit other required documentation that maybe required for your specific project.

We strongly recommend that the applicant indicates the authorized person(s) by the title of position in the Authorizing Resolution, rather than by the name of the employee or officer. Employees have been known to retire or change jobs in the middle of a project, and, were this to happen, your resolution would be ineffective if it only lists the employee by name. If your organization requires that a person be named in an Authorizing Resolution, then the resolution should also include the title of position and contact information for the named individual.

Note: If applicant is required to submit a draft "intergovernmental agreement (IGA)" along with your agreement, an Authorizing Resolution is not a substitute for an IGA.

STANDARD AUTHORIZING RESOLUTION

WHEREAS, (*applicant*) City of Platteville is interested in obtaining a cost-share grant from the Wisconsin Department of Natural Resources (DNR) for the purpose of Moundview Trail Connector - Phase 3 (as described in the application);

WHEREAS, the respondent attests to the validity and veracity of the statements and representations contained in the application;

WHEREAS, an Agreement/Contract is required to carry out the project; and
 NOW, THEREFORE, BE IT RESOLVED, that (*applicant*) City of Platteville

will meet the financial obligations necessary to fully and satisfactorily complete the project and hereby authorizes and empowers the following officials or employees to submit the following documents to the DNR for financial assistance that may be available:

Task	Title of Authorized Representative	Email address and phone number if alternative is used
Sign and submit application	City Manager	citymanager@platteville.org / 608.348.1821
Enter into an Agreement/Contract with the DNR	City Manager	citymanager@platteville.org / 608.348.1821
Submit required reports to the DNR to satisfy the Agreement/Contract, as appropriate	Director of Public Works	crofooth@platteville.org / 608.348.1826
Submit reimbursement request(s) to the DNR per the Agreement/Contract	Comptroller	horners@platteville.org / 608.348.1822
Sign and submit other documentation as necessary to complete the project per the Agreement/Contract	Director of Public Works	crofooth@platteville.org / 608.348.1826

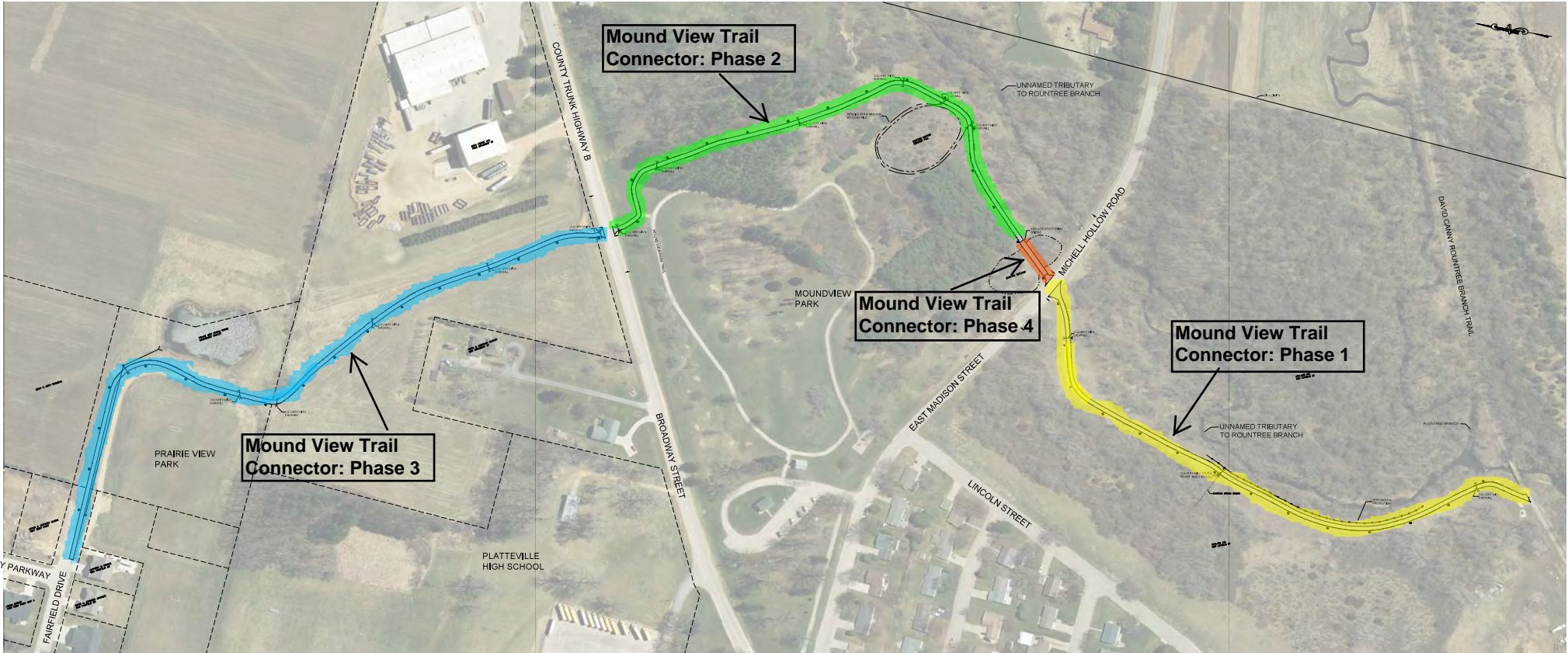
BE IT FURTHER RESOLVED that respondent will comply with all local, state, and federal rules, regulations, and ordinances relating to this project and the cost-share Agreement/Contract.

I hereby certify that the foregoing resolution was duly adopted by Platteville Common Council at a legal meeting held on this 9th day of May, 2023.

Authorized Signature _____ Date _____

Title City Manager

NOTE: The Authorized Signature and the Representative should not be the same person, unless minutes of the meeting where the resolution was adopted are attached.



MOUND VIEW PARK TRAIL
PRELIMINARY LAYOUT

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

**COUNCIL SECTION:
INFORMATION &
DISCUSSION
ITEM NUMBER:
VIII.B.**

**TITLE:
Fire Station Discussion**

**DATE
April 25, 2023
VOTE REQUIRED:
Majority**

PREPARED BY: Nicola Maurer, Interim City Manager

Description:

The Council will discuss the Fire Station Schematic Design Report and the feedback from the community meeting.

Attachments:

- Platteville Fire Station Community Presentation – Wendel/5Bugles/Kraemer
- Schematic Design Report for Platteville Fire Station – Wendel/5Bugles/Kraemer



Platteville Fire Station

Community Presentation
April 20, 2023



PROJECT TEAM HERE TONIGHT:



LAURA EYSNOGLE

AIA, NCIDQ

ARCHITECT

WENDEL / FIVE BUGLES DESIGN



KYLE KRAEMER

VICE PRESIDENT

CONSTRUCTION MANAGER PRINCIPAL-IN-CHARGE

KRAEMER BROTHERS



PRESENTATION OUTLINE:

- Project History
- Schematic Design
 - Site
 - Facility
 - Alternates
- Cost Estimate
 - How project costs evolve
 - Base estimate
 - Alternate estimates
 - Project scope
- What's Next
 - Potential design schedule
 - Potential construction schedule



1 Front Bay Iso
SCALE:

SCHEMATIC DESIGN:

WHAT IS SD?

WHAT IS SCHEMATIC DESIGN?

- General understanding of a project
 - Physical requirements
 - Confirm sizes & occupancies
- “Big Picture” items
 - Building envelope & structure
 - Articulate floor plan
 - Initial code review
 - General interior finishes
 - Begin to review mechanical & electrical systems
- SD level construction estimate

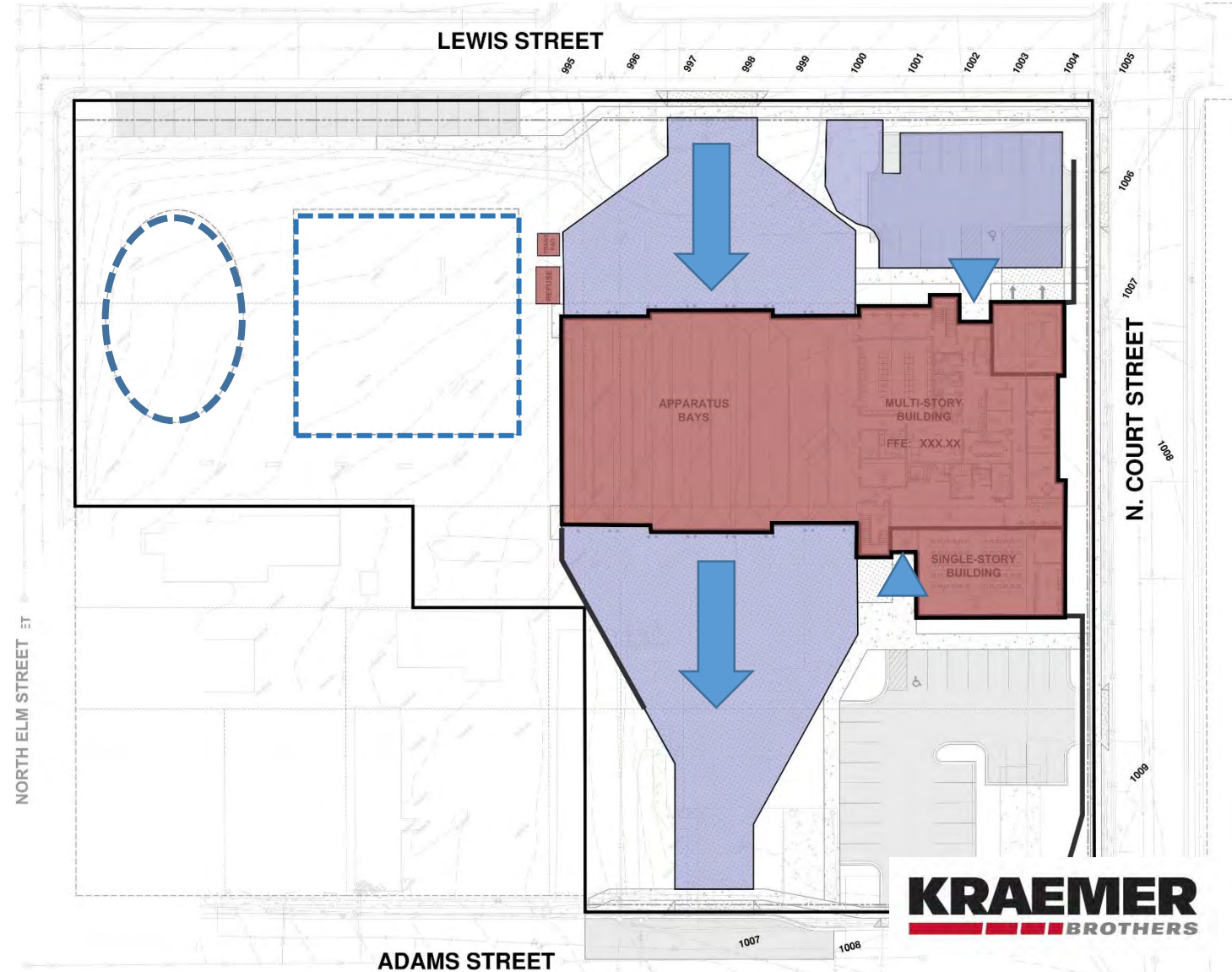
END DELIVERABLE: SD REPORT

- Written Report:
 - Architecture, Mechanical, Electrical, Plumbing, and Structure
- SD Level Drawings:
 - Architecture
 - Floor plan
 - Dimension plan
 - Roof plan
 - Exterior elevations
 - Initial building sections
 - Floor finish plan
 - Mechanical zoning
 - Structure framing
 - Site plan
- SD Level Estimate

SCHEMATIC DESIGN: SITE

SITE:

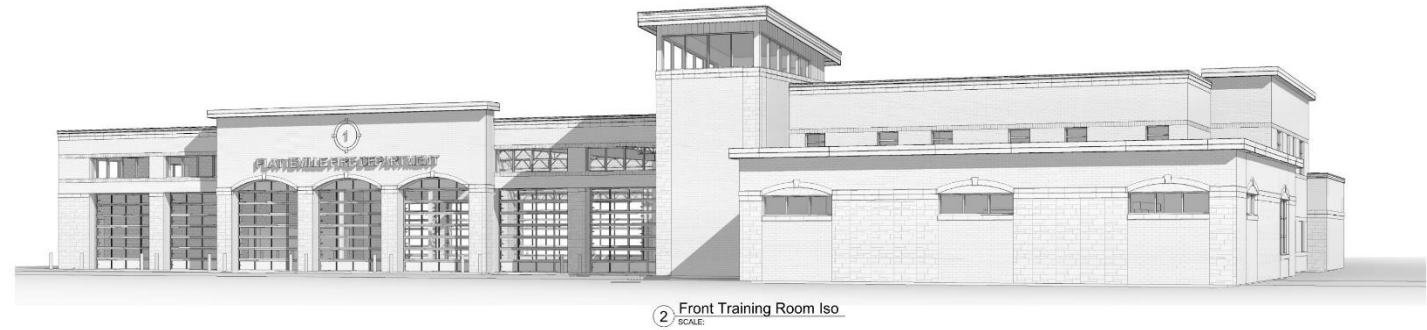
- Response to south
- Return from north
- Public
 - Parking
 - Entry
- Responder
 - Parking
 - Entry
- On-site water retention
- Future area for training



SCHEMATIC DESIGN: OVERALL

OVERALL:

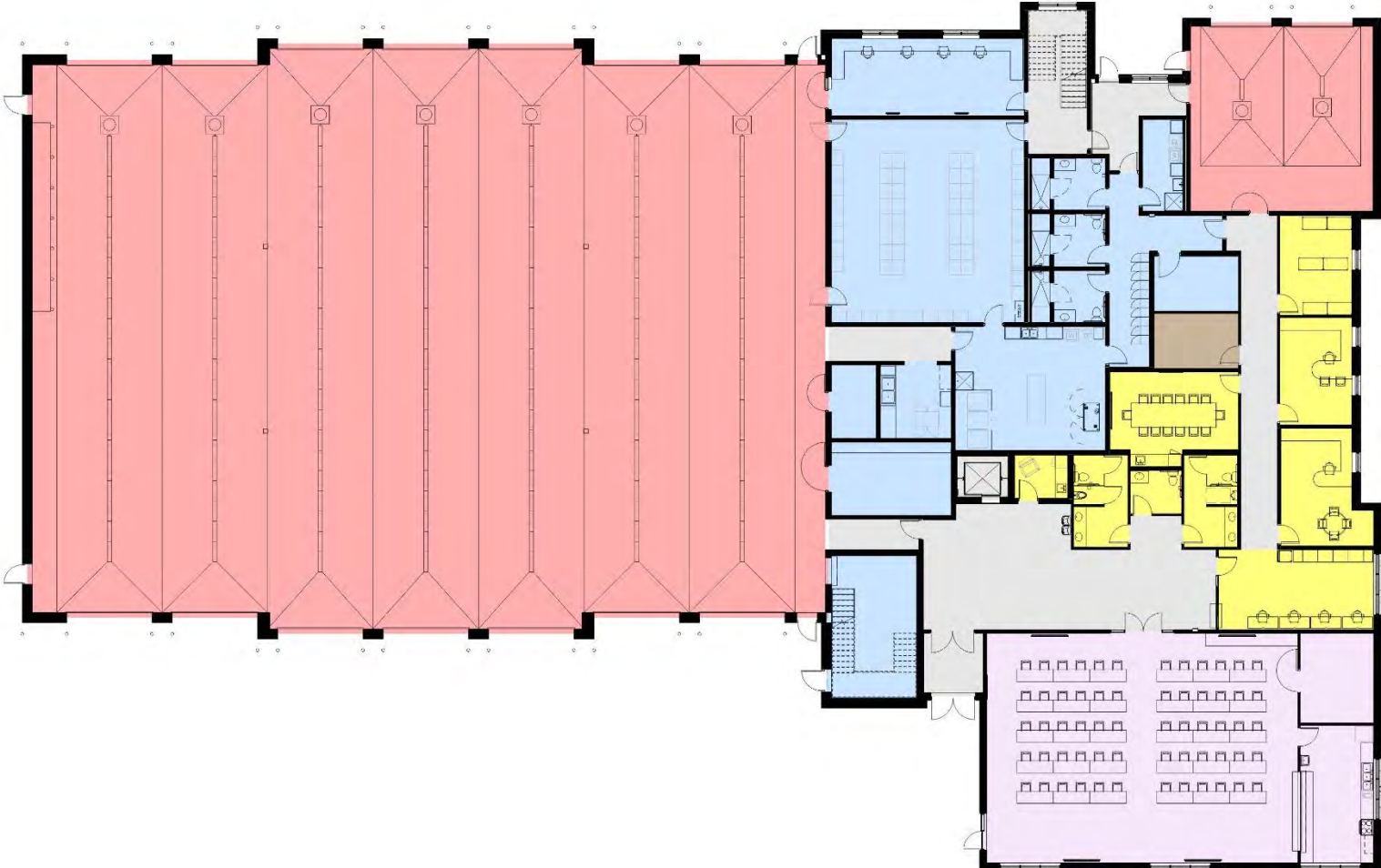
- 32,525 SF facility
- Two-stories
 - Alternate for basement



SCHEMATIC DESIGN: OVERALL

FIRST FLOOR:

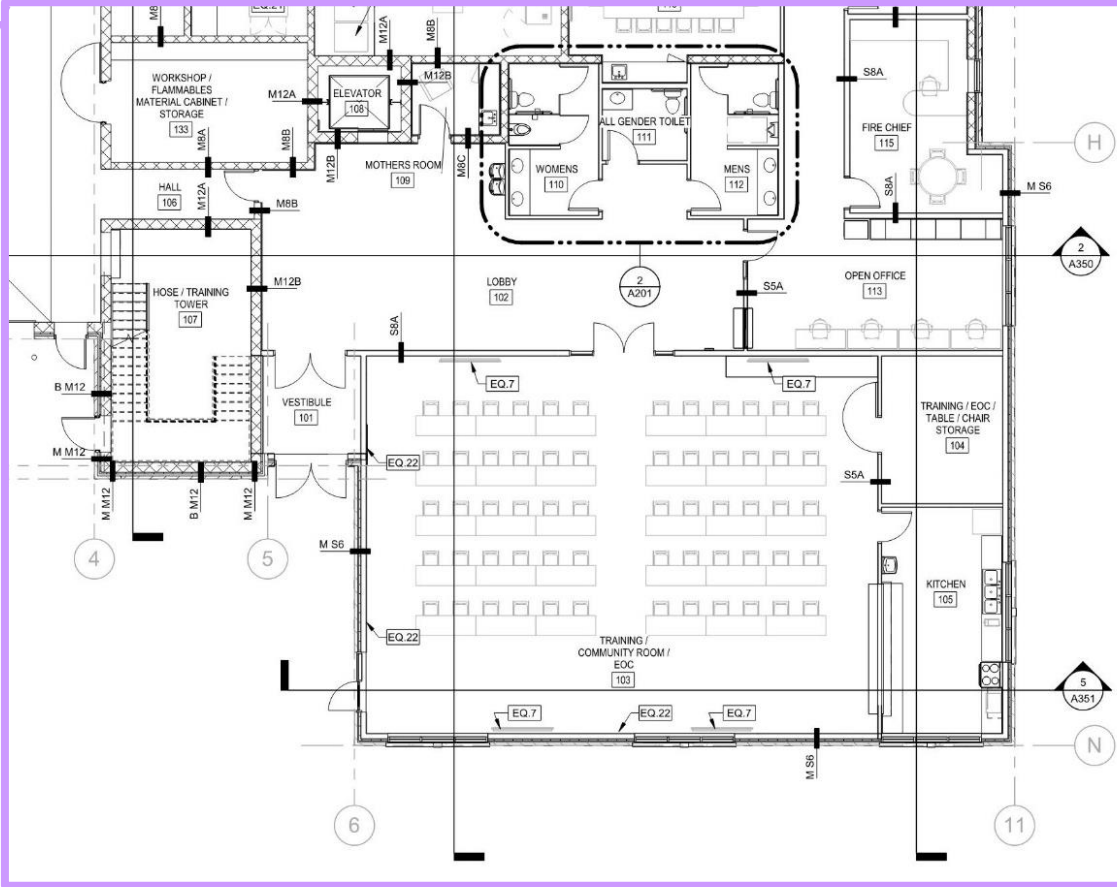
- ADMINISTRATION
- APPARATUS BAYS
- APPARATUS SUPPORT
- CIRCULATION
- MECHANICAL
- STAFF SUPPORT
- TRAINING



SCHEMATIC DESIGN: OVERALL

FIRST FLOOR:

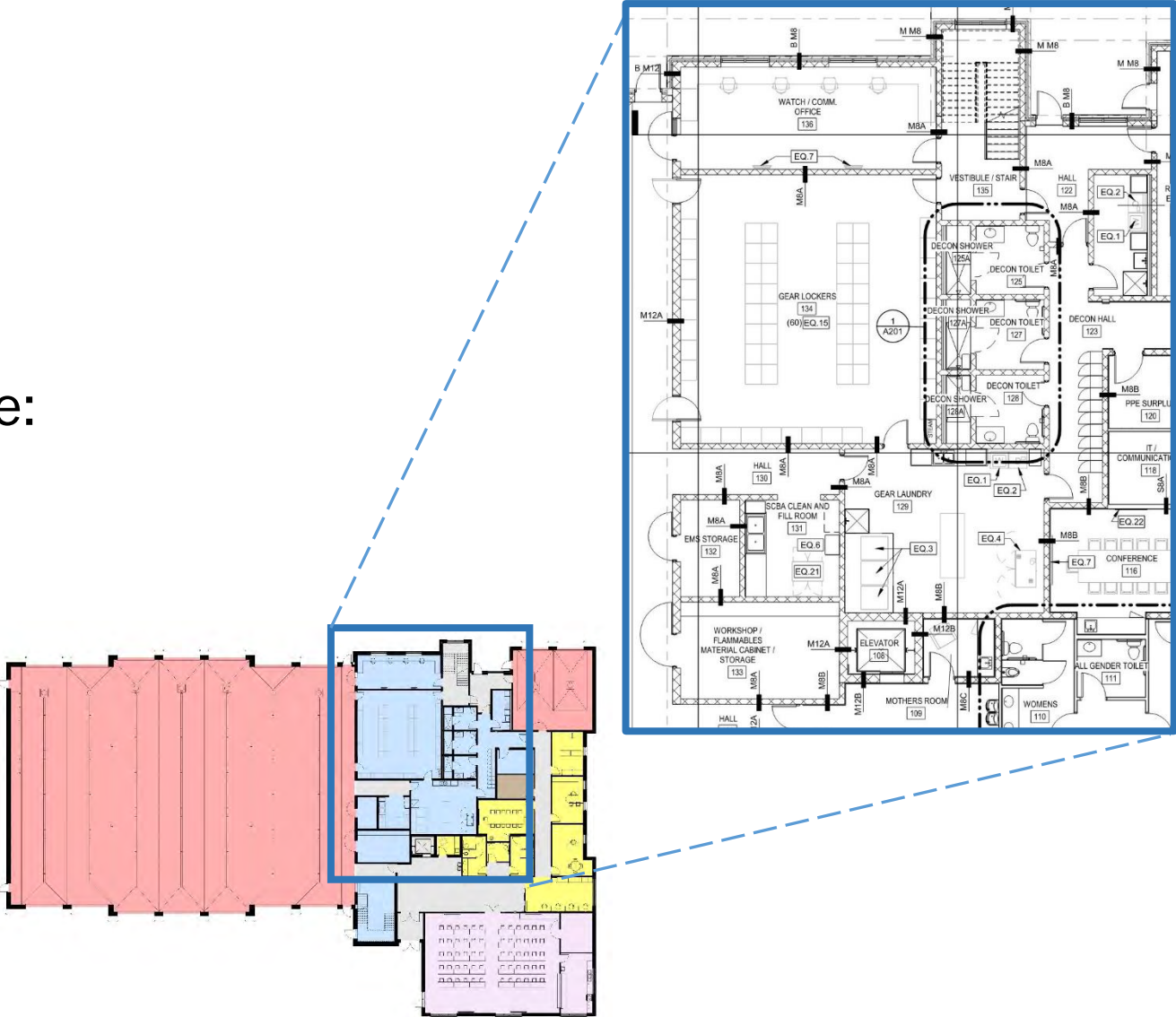
- Public Zone:
 - Training / Community Room
 - Lobby
 - Mothers Room
 - Toilets



SCHEMATIC DESIGN: OVERALL

FIRST FLOOR:

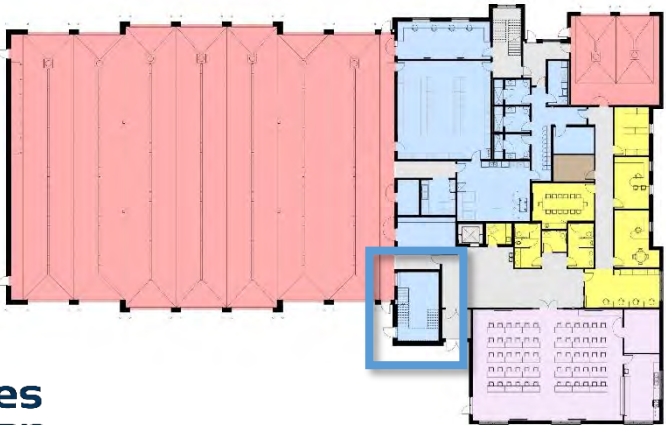
- Apparatus Support :
 - Watch Room
 - PPE Lockers
 - Decontamination Suite:
 - SCBA Clean/Fill
 - Gear Laundry
 - Toilet / showers
 - Residential Laundry
- Workshop



SCHEMATIC DESIGN: OVERALL

FIRST FLOOR:

- Training:
 - Low frequency, high incident situations
 - Repelling
 - Chargeable standpipe
 - Confined space training



TRAINING TOWER ISO VIEW



EXTERIOR RAPPILING CAPABILITIES



UPPER PLATFORM: HOSE DRYING, STANDPIPE, ROOF ACCESS



BUILDING MASSING / EXTERIOR TRAINING CAPABILITIES



OVERALL VIEW OF TRAINING TOWER STAIR FROM ABOVE



UPPER PLATFORM: HOSE DRYING, INTERIOR RAPPILING, STANDPIPE, OPERABLE TRAINING WINDOW



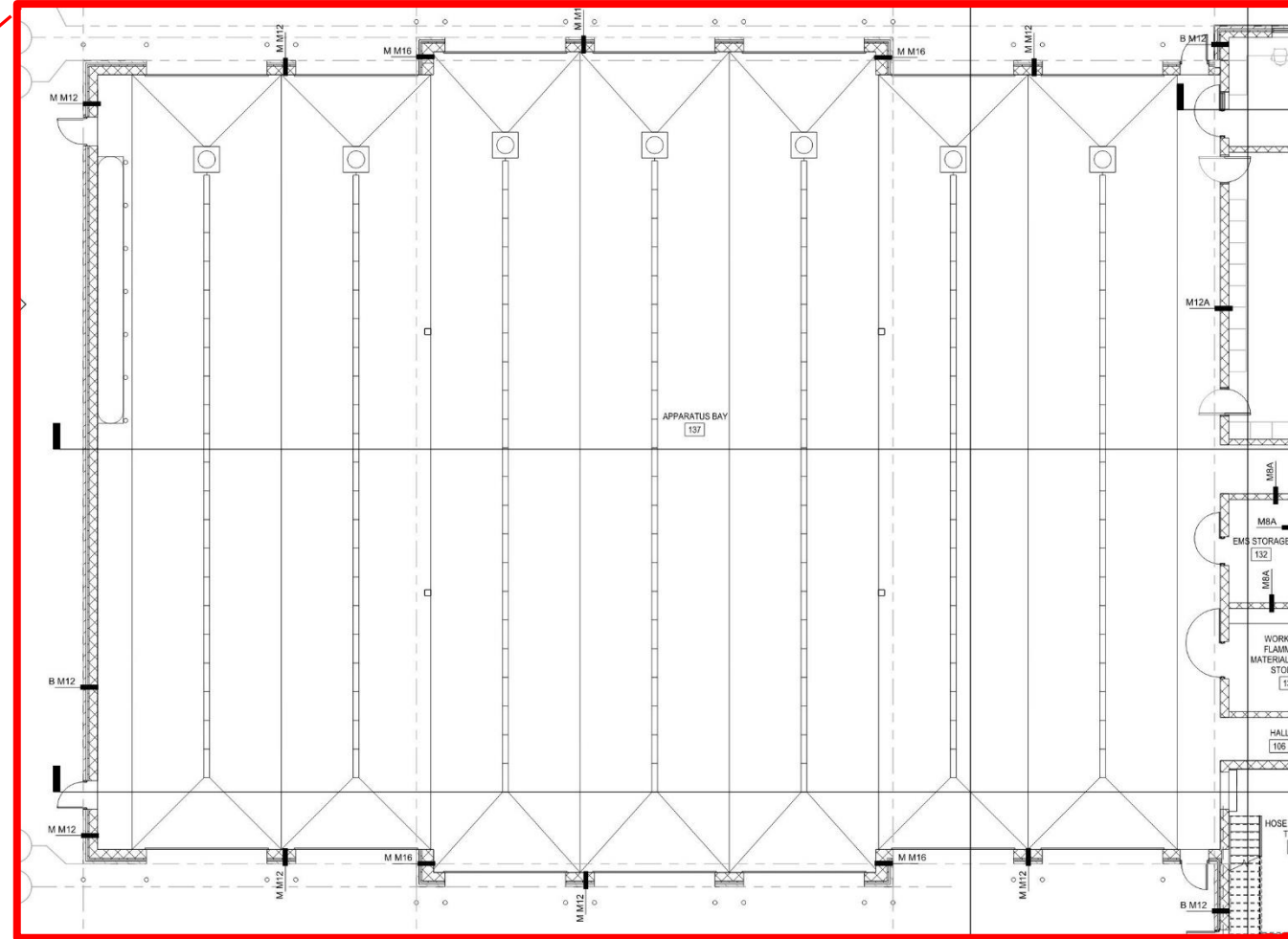
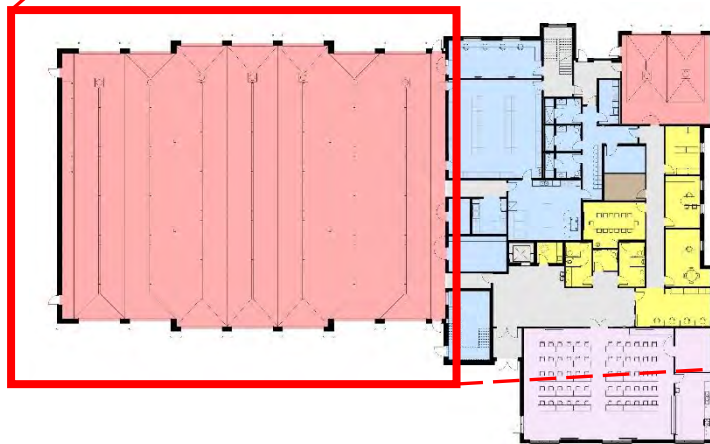
FIRST FLOOR OF TRAINING TOWER, REMOVABLE GRATE FOR CONFINED SPACE TRAINING



SCHEMATIC DESIGN: OVERALL

FIRST FLOOR:

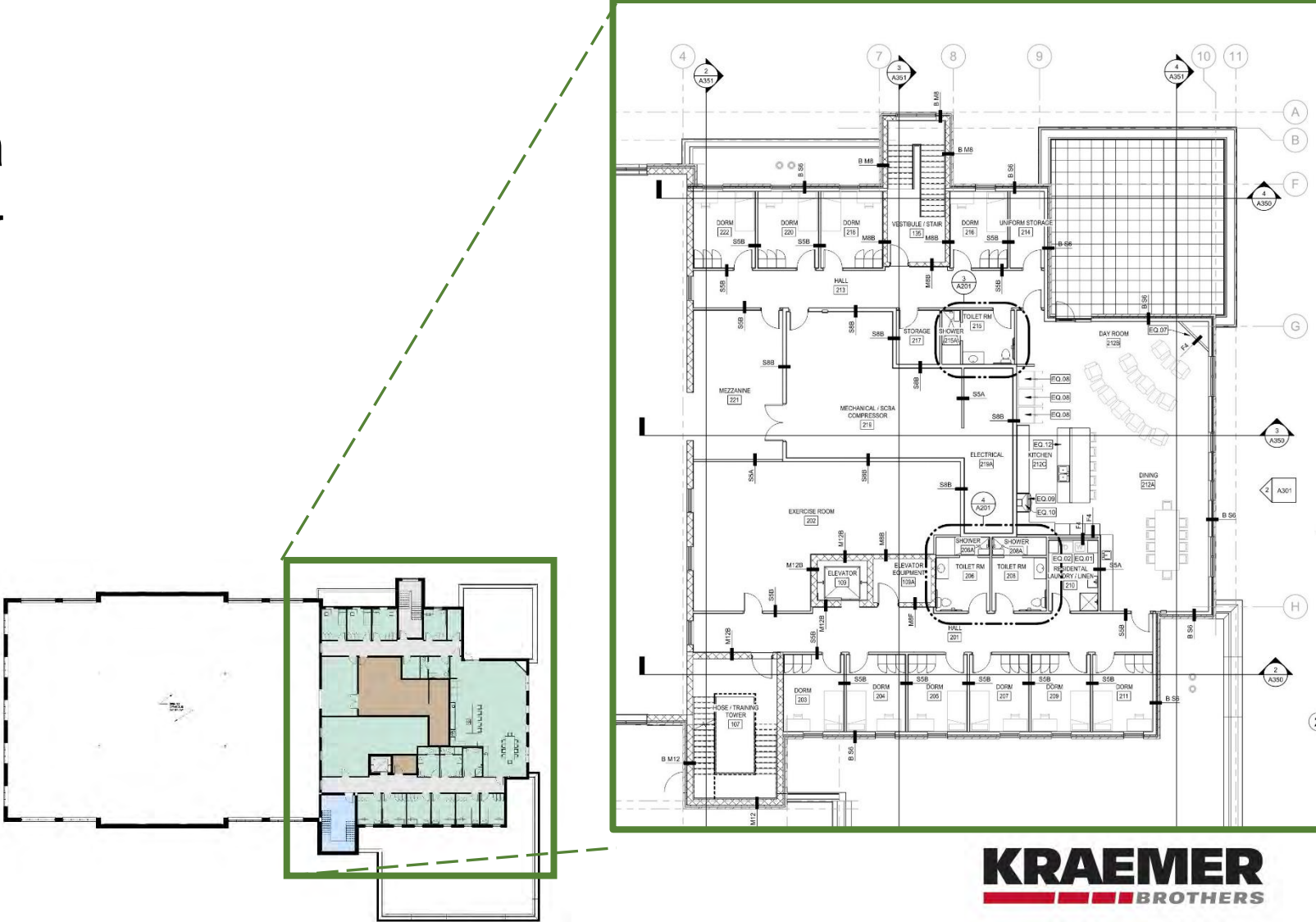
- Apparatus Bays :
 - Seven drive-through apparatus bays



SCHEMATIC DESIGN: OVERALL

SECOND FLOOR:

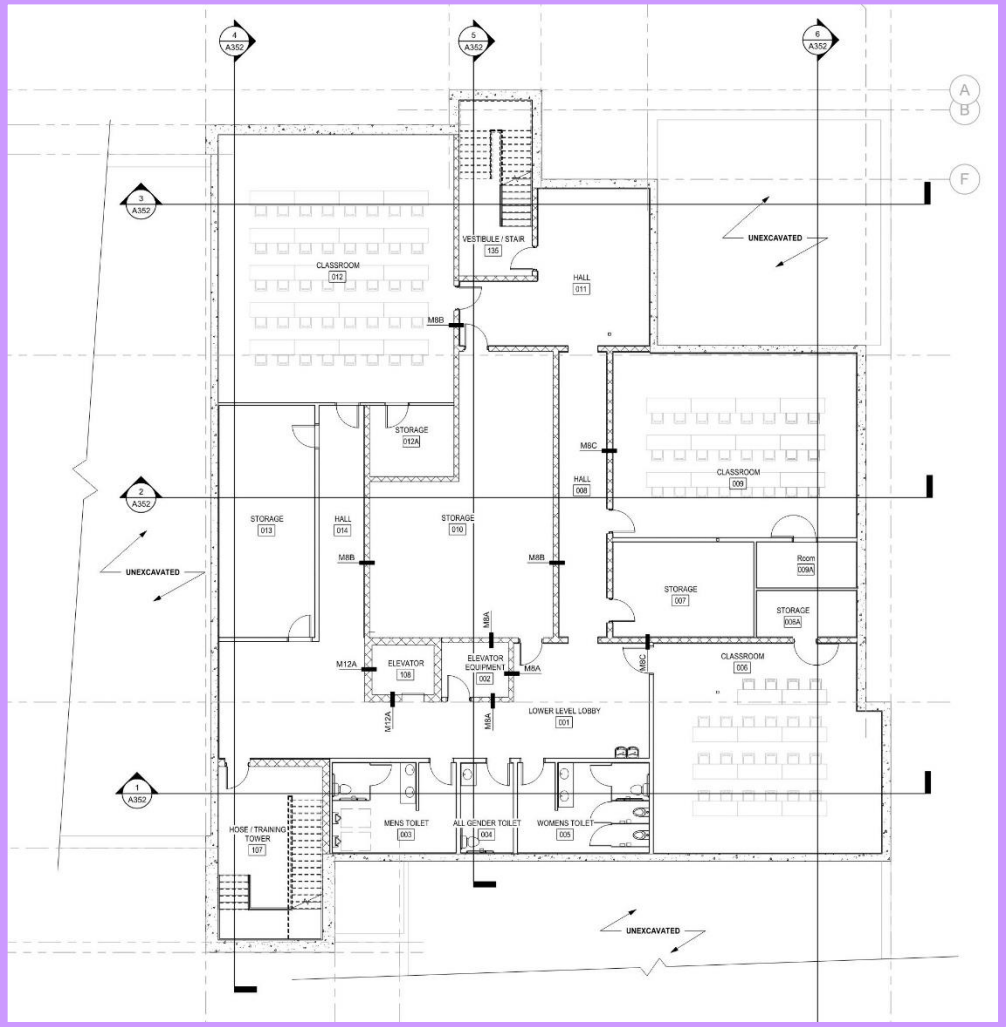
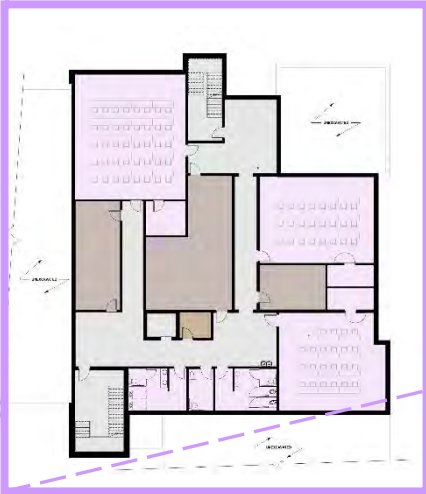
- Base bid as a shelled area
- Alternate to finish 2nd floor includes:
 - 10 individual dorms
 - Toilet/showers
 - Kitchen
 - Dining
 - Day Room
 - Exercise
 - Mechanical



SCHEMATIC DESIGN: OVERALL

BASEMENT ALTERNATES:

- Two alternate bids:
 - Shelled space
 - Shelled and finished spaces
- Finished alternate includes:
 - Two small classrooms
 - One large classroom
 - Storage
 - Lobby / breakout spaces
 - Toilets



CONSTRUCTION ESTIMATE: HOW PROJECT COSTS EVOLVE:



Budget Type	Estimating Methodology	% of Total Drawings	Cost Reliability	Recommended Contingency
Concept Budget	Based on historical square foot costs	0%	1	10%
Schematic Budget	Historical component systems costs	5%	2	10%
Target Budget	Internally generated unit costs	15%	3	5%
Guaranteed Max. Price (GMP)	Detailed estimating, some subcontractor bids & input	35%	4	3-5%
Final Cost	Detailed estimating, subcontractor hard bids	100%	5	3%

CONSTRUCTION ESTIMATE:

BASE ESTIMATE:

BASE ESTIMATE - ONLY	
SITE DEVELOPMENT	\$1,525,000
GENERAL CONSTRUCTION	\$7,775,000
PLUMBING	\$605,000
FIRE PROTECTION	\$120,000
HVAC	\$1,100,000
ELECTRICAL	\$1,100,000
MISC. & EQUIPMENT	\$495,000
CONSTRUCTION FEE	\$355,000
CONSTRUCTION SUBTOTAL	\$13,120,000
CONTINGENCY 7.5%	\$1,000,000
TOTAL SD CONSTRUCTION ESTIMATE	\$14,120,000
FF&E	\$350,000
SYSTEMS & NETWORKING	\$150,000
DESIGN & ENGINEERING	\$847,000
TOTAL SD PROJECT ESTIMATE	\$15,467,000

Notes:

1. Base estimate only.
2. Does not include basement.
3. Second floor is shelled space only, no finished spaces.
4. Changes to project scope after bid opening may cause additional costs, resulting in change orders.



CONSTRUCTION ESTIMATE:

ALTERNATE ESTIMATES:

ALTERNATE ESTIMATED COSTS

ALTERNATE	ADD OR DEDUCT	CONSTRUCTION COST
UNFINISHED BASEMENT	ADD	\$1,470,000
FINISHED BASEMENT	ADD	\$500,000
FINISHED 2 ND FLOOR	ADD	\$875,000
ELIMINATE TRAINING / COMMUNITY ROOM	DEDUCT	\$335,000
SOLID INSULATED OVERHEAD DOORS VERSES GLASS DOORS	DEDUCT	TBD
DECORATIVE FLAKE EPOXY FLOOR – APPARATUS BAY	ADD	\$105,000

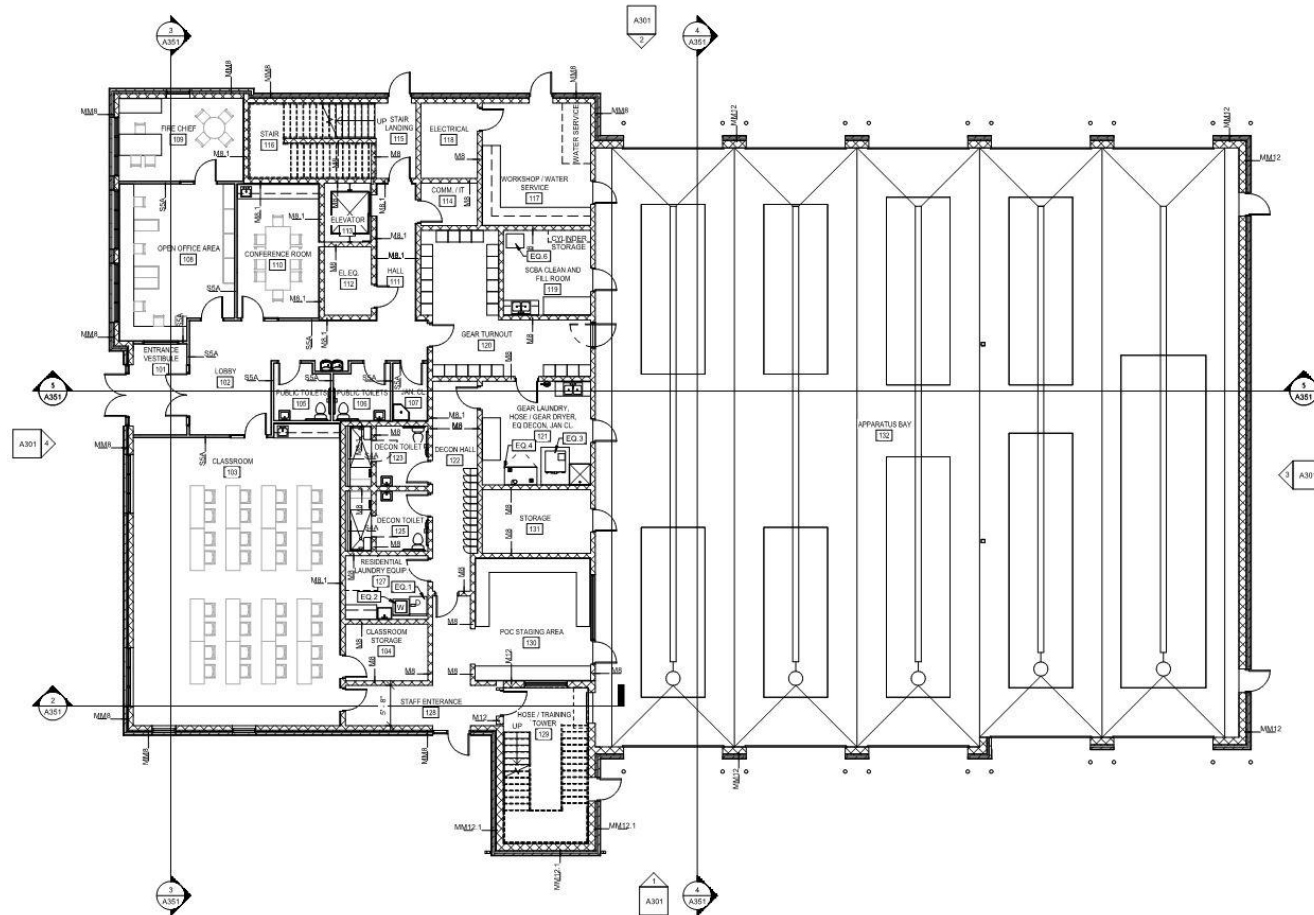
Notes:

1. Costs shown are estimates for construction costs only. Soft costs, including A/E fees and FFE will need to be added for total project estimate.
2. Alternates are intended to be designed and bid. Each bid will be reviewed at bid opening for inclusion in final project.
3. Alternate bid prices are held for 30-days after bid opening. If alternates are accepted after the 30-day period, additional costs are likely to incur.



CONSTRUCTION ESTIMATE:

CONCEPT VS FINAL DESIGN:



Suamico Fire Station

Programmed S.F. = 36,846 S.F.

Completed S.F. = 22,050 S.F.

Greenville Fire Station

Programmed S.F. = 30,000 S.F.

Completed S.F. = 24,680 S.F.

Wausau Fire Station

Programmed S.F. = 16,884 S.F.

Completed S.F. = 15,233 S.F.

Monroe (Ohio) Fire Station

Programmed S.F. = 24,388 S.F.

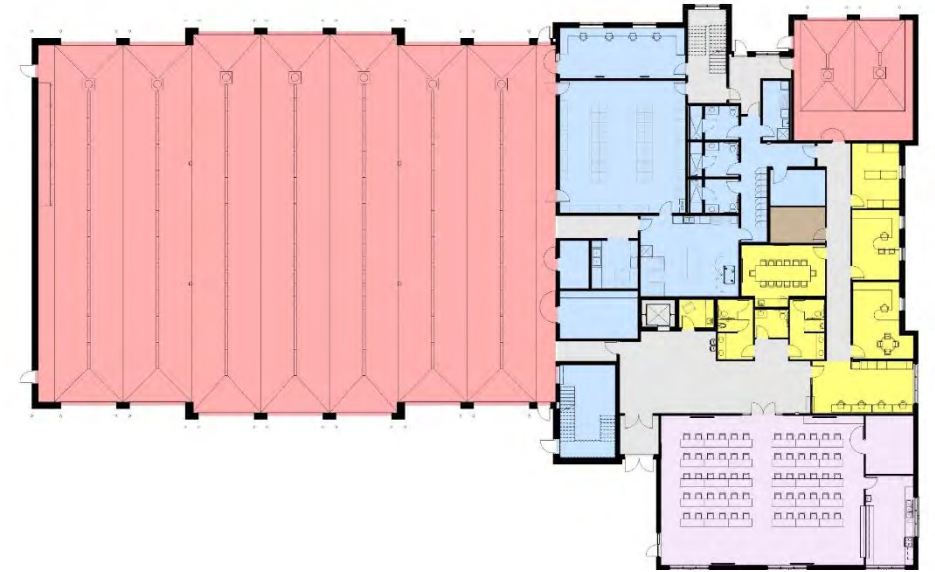
Completed S.F. = 20,100 S.F.

CONSTRUCTION ESTIMATE:

SCHEMATIC DESIGN VS FINAL DESIGN:

POST SD ESTIMATE CONSIDERATIONS:

- Confirm site plan:
 - Orientation on-site
 - Layout
- Confirm room sizes
- Confirm quantities of space types
 - Example: number of offices
- Confirm alternates



BUILDING PROGRAM + BUILDING BUDGET = MEET YOUR NEEDS

WHAT'S NEXT?:

POTENTIAL SCHEDULE

We Are Here:



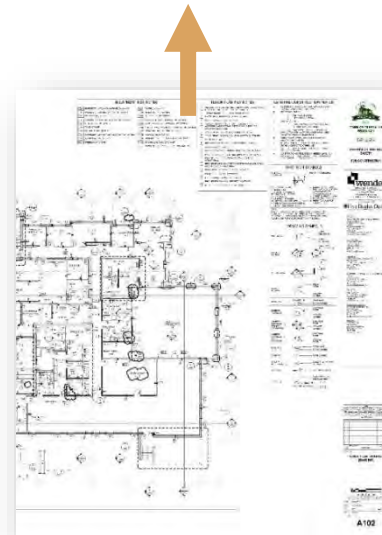
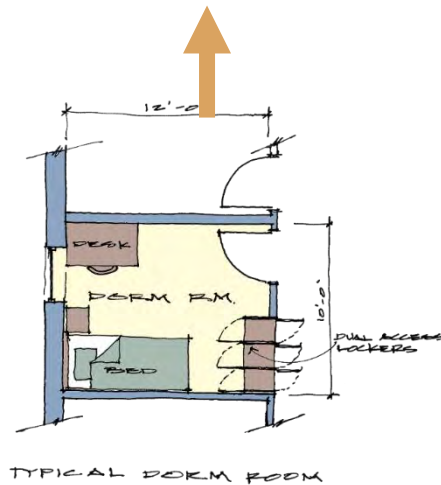
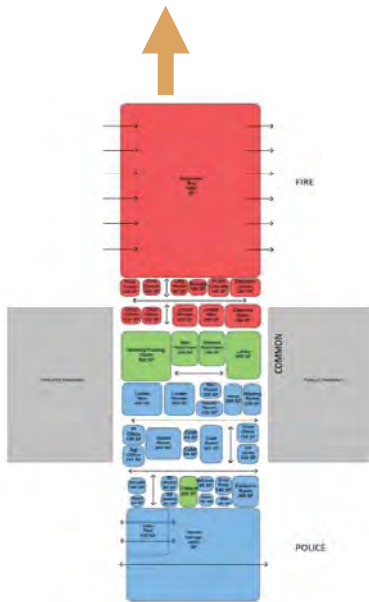
Concepts
(Estimate)

Schematic
Designs
(Estimate)

Design
Development
(Estimate)

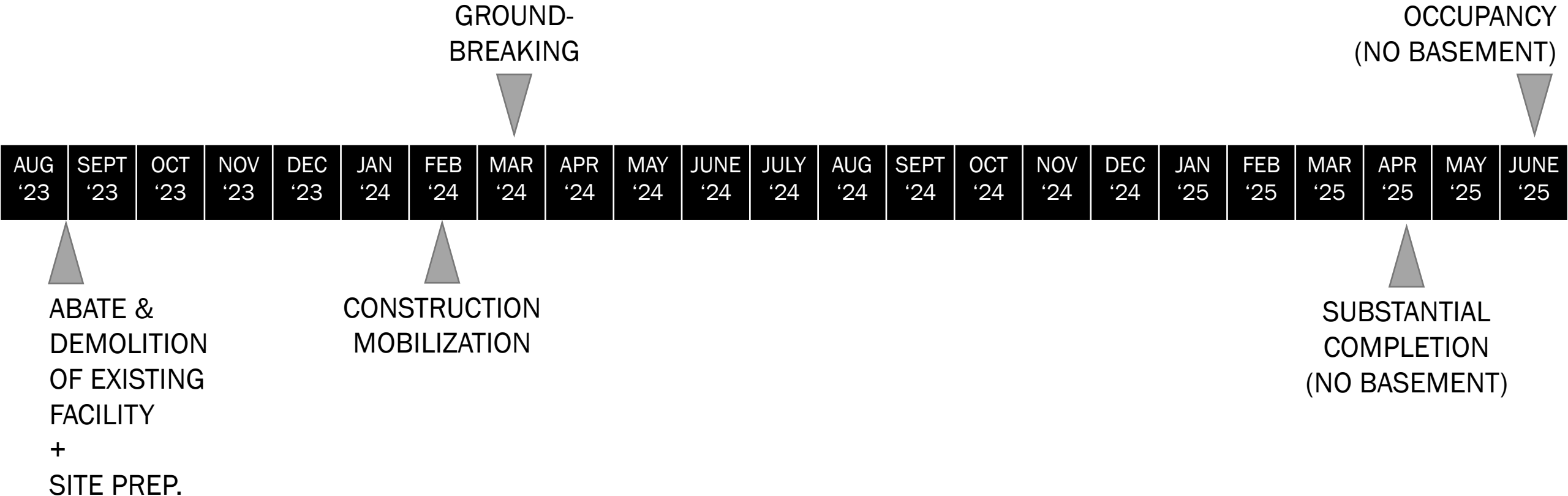
Construction
Documents
(Estimate)

Bidding
Construction
Occupancy



WHAT'S NEXT?:

POTENTIAL CONSTRUCTION SCHEDULE



Note:

1. Schedule is subject to change. Schedule assumes timely approval and permission to advance to next stage of production through out project. Delays in approval will cause delay to overall schedule.
2. Basement alternate will add an additional 2 months to the construction schedule.



QUESTIONS?

Thank you.





Schematic Design
Report for

Platteville
Fire Station



**Five
Bugles
Design™**

April 13, 2023

TITLE	SECTION
Narratives	1
a. Architectural	
b. Electrical	
c. Mechanical	
d. Fire Protection & Plumbing	
e. Structural	
Schematic Design Drawings	2
a. Site/Civil	
b. Architectural	
c. Mechanical	
d. Structural	
Opinion of Probable Construction Cost	3

Architectural Narrative

General Building Description

Wendel's Five Bugles design team was hired by the City of Platteville to design a new fire station, replacing their existing station. This new construction project is designed with a total area of 32,526 SF including approximately 5,400 SF of living quarters and an add alternate will be designed to include a 7,715 SF basement.

- Two distinct apparatus garages:
 - Seven drive-through bays dedicated to large apparatus and emergency response vehicles
 - Two back-in bays for smaller support command vehicles
- Apparatus Support, including gear storage as well as equipment maintenance repair and decontamination.
- Fire Administrative Offices:
- 60-Person Training Room
 - The training room also includes:
 - A dedicated storage room for tables and chairs
 - A kitchen
 - Potential uses for the training room include, but are not limited to:
 - Resiliency hub
 - Emergency Operations Center (EOC)
 - Voting
 - General community use
- Public lobby, including:
 - Historic display
 - Mother's room
 - Public toilets
- Living Quarters
 - Ten single occupancy dorm rooms
 - Three single occupancy toilet and shower rooms
 - Kitchen/dining/day room
 - Fitness Room

The structure is envisioned as a predominant two-story building with double-height apparatus bays. A single-story portion of facility will be constructed to help ease the large scale of the structure on the site, which is located within a residential area. Attention has been paid to developing appropriate response scenarios throughout the station. As such, the training room and training tower are located on the first floor of the facility with direct hallways to both garage spaces. The watch office is located at the north end of the facility, near the responder entry, and access to personal protective equipment (PPE) lockers. Adjacent to that responder core are the administration areas, which flank the east side of the facility.

The second floor of the station will house the department's living quarters, including individual dorms, individual toilets and showers, a kitchen, dining room and day room. The exercise room is located directly above non-occupied spaces to minimize sound transfer concerns. All dorm rooms are located on an exterior wall and have a window for natural light and located for fast response to the apparatus bays.

The project site is located just north of the downtown Platteville, located on the block bordered by W. Lewis and W. Adams Street and between N. Elm and N. Court Street. The O E Gray Early Learning Center and Senior Center Building are currently located here. This facility, originally designed as a school, will be razed as part of this project. The total project site is currently comprised of three individual properties, all owned by the City of Platteville. A certified survey map will join these properties into one.

The exterior will feature prominent use of brick and stone veneer supplemented with cast stone banding. The brick is intended to reflect the colors of the brick used on the facades of buildings in the downtown. Windows are prominently used in the overhead door openings and picked up elsewhere in the design, promoting natural daylighting.

The interior design will feature four separate zones: apparatus and support areas, administrative spaces, training, and living quarters. Apparatus and support areas will typically be finished with sealed concrete or fluid applied floors, painted concrete block and painted exposed structure. Administrative spaces will be finished with carpet and lay-in ceilings. Training spaces will be a mix of hard finishes or softer professional finishes depending upon use. Living quarters and staff support spaces will be typically finished with softer finishes as befits living areas including carpet tile and flocked carpet, painted drywall partitions, kitchen cabinetry with quartz counters, and heavy-duty residential appliances.

Architectural Systems

1. Exterior walls of the apparatus and support areas will be masonry cavity wall construction. The exterior walls of the administrative, training areas and living quarters will be of metal stud construction. The exterior finishes will be a mix of brick, stone and cast stone veneer. The building will be spray foam insulated with R-values as required by code standards.
2. Floor slabs will be insulated with Hi-Load 60 psi insulation where in-floor heat is installed in the apparatus bays as well as the perimeter to the first-floor administration areas. The rest of the facility will be slab on grade. Trench drains will run parallel with the bays with appropriate catch basins.
3. Stairs shall be constructed of steel stringers and formed steel treads, risers and mid-floor landings. The hose tower treads and landings will be galvanized metal grating. Treads and landings in the north stairwell will be finished with resilient flooring. Railings will be fabricated of steel bars and tubes with a painted finish.
4. The roof system will be fully adhered EPDM membrane and insulation over metal deck. Roof edge coping, fascia and trim shall be 22-gauge galvanized steel with manufacturer's standard Kynar finish. The roof will include internal roof drains with overflow roof drains. Gutters and other accessories will be provided as necessary over sloped roofs and awnings.
5. Exterior storefront framing to consist of thermally broken anodized aluminum frames and mullions. Glazing shall be insulated, double pane units, with 1/4" tempered glass at the exterior and 1/4" laminated glass at the interior.

6. Exterior overhead doors shall be insulated steel sectional with insulated glazing and exterior weather-strip and jack shaft type operators. Glazing units shall meet same specification as windows. Exterior service doors and frames shall be galvanized steel. Exterior louvers shall be extruded aluminum with drainable blades and bird screens.
7. Interior doors shall be wood or 18-gauge steel while the interior frames shall be 16-gauge steel.
8. All door hardware shall be commercial grade with select doors having key fob access control systems. Exterior lobby doors shall have automatic door operators.
9. Interior partitions shall be concrete masonry or gypsum wallboard on metal stud with sound insulation and wood blocking as required for equipment mounting. Walls surrounding dorms will need a sound transmission control (STC) rating of over 50.
10. Typical interior wall finishes to include primer and two finish coats of paint. Wall Coverings will be used in select rooms.
11. Floor finishes shall be sealed concrete at the apparatus bays and apparatus support areas. Fluid applied flooring will be used in the decontamination areas. Porcelain tiling and resilient flooring will be used in select areas of the administration areas where circulation and cleanliness are key. Carpet tile flooring will be used in the training room, offices, and living quarters. Flocked carpet will be used in dorm rooms. Rubber athletic flooring is proposed in the Fitness Room.
12. Acoustical ceilings shall be 24" x 24" in office and other work areas where required with a 15/16" suspension system. Specialty ceiling systems will be used in the lobby, kitchen, dining, and day rooms.
13. Casework and dorm lockers shall be plastic laminate constructed in accordance with AWI Custom Quality. Solid surface countertops shall be used at lavatories and windowsills. Quartz countertops will be used in the kitchen areas. All apparatus bay support casework will be metal with stainless steel countertops or butcher block in select rooms.
14. Shower rooms will consist of porcelain tile shower surrounds and appropriate waterproofing with porcelain tile floors.
15. Toilet partitions shall consist of solid molded high-density polyethylene, floor-mounted headrail braced.
16. Toilet accessories shall be commercial quality brushed stainless steel at all toilet rooms. PVC benches will be located at each shower area.
17. Lockers shall be fully ventilated painted metal at the Decontamination Area.
18. Fire extinguisher cabinets are to be fully recessed, steel construction with vertical glass insert.

19. Window Shades shall be fabric roller shades complete with mounting brackets, roller tubes, hembars, hardware and accessories. All window shades with sills at or below 60" above finished floor (AFF) are to be manually operated. All window shades with sills at or above 61" (AFF) are to be mechanically operated.

Electrical Narrative

Electrical Systems Description

Applicable Codes and Standards

Codes:

- 2020 National Electrical Code 70
- 2020 Standard for Electrical Safety in the Workplace 70E
- 2016 National Fire Alarm Code 72
- 2018 Life Safety Code 101
- 2015 Wisconsin Building Code
- 2015 Energy Conservation Code of Wisconsin

Guidelines/Standards:

- Alliant Energy Electric Service and Metering Manual
- The Lighting Handbook 10th Edition – Illuminating Engineering Society

1. Normal Power:

- A new electrical service will be provided for the proposed facility. The service will consist of pad mounted transformer (preliminarily 500kVA), underground ductbank with wiring terminating at service rated disconnect switch on the exterior of the building. The main switchboard will be located on mezzanine level electrical/mechanical room. Exact location will be coordinated.
- The service will be 800A, 480Y/277VAC, 3-phase, 4-wire.
- The main switchboard will supply power to typical lighting/branch circuits located throughout the facility as required for the loads.
- Common panelboards shall be provided for general power and lighting circuits, and dedicated panelboards for mechanical equipment.
- The utility transformer will be provided by utility company (Alliant Energy), as well the primary conductors. Primary underground raceways to the utility service pole, secondary ductbank, and transformer pad will be provided by the contractor.
- Final termination at utility pole and the transformer will be performed by the utility company.

2. Emergency/Standby Power:

- The new Fire/EMS facility shall be backed up by an exterior diesel generator set with a sound attenuated, weatherproof enclosure. The generator will be sized to handle the facility electrical load in its entirety, it will be 300kW, 480Y/277V output and single output circuit breaker. Sub-base tank will be provided with fuel capacity of 24 hours.
- Service entrance rated transfer switch will be provided to facilitate connection for the entire facility. Transfer switch will be rated 800A at 480Y/277VAC, 3-pole.
- Generator will be located at the back of the building in the proximity of the utility transformer.
- System basis of design will be Kohler.



3. Branch Circuits:

- General purpose power will be provided throughout the facility with receptacles located as required by the NEC or as dictated by proposed equipment locations such as copiers and similar.
- GFCI receptacles will be provided in apparatus bays, food prep area and at locations within 6ft of any sink.

4. Interior Lighting:

- LED lighting will be provided throughout the facility. Rooms with ceilings will utilize 2'x2' and 2'x4' recessed troffers. Offices, meeting, and other similar rooms will be provided with architectural low glare variety and all other spaces such as corridors, break rooms and similar spaces will be provided with lensed troffers. Utility spaces such as mechanical, electrical, and similar use room will utilize industrial linear 2ft, 4ft, or 8ft lensed strip fixtures that will be wall mounted or suspended from structure. Apparatus bays will be illuminated by industrial type, high-bay luminaires. They will be suspended from the structure and located to provide general illumination.
- The lighting will be designed to provide the following average light levels:
 - Small Offices – 40-50fc
 - Corridors/Halls – 10-20fc
 - Restrooms/Locker Rooms – 20-25fc
 - Conference/Meeting Rooms – 40-50fc
 - Utility Rooms – 20fc
 - Apparatus Bays – 50fc
 - Dorm Rooms – 30fc
- Manual and Automatic lighting controls will be provided throughout per the following:
 - Small Offices – Vacancy sensors (Manual On/Auto OFF), dimmers.
 - Corridors/Halls – Occupancy sensors (Auto ON/Auto OFF), 3-way switching.
 - Restrooms/Locker – Occupancy sensors
 - Conference/Meeting – Vacancy sensors, multi zone dimmers.
 - Utility Rooms – Manual switches only in electrical and similar spaces, vacancy sensors in janitor and similar utility spaces.
 - Apparatus Bays – Manual, multi-zone switching with multiple switch locations to allow control from various points of entry.
 - Dorm Rooms – Vacancy sensors (Manual ON/Auto OFF), dimming.
- Large rooms that require 150W or more of general lighting and that have windows will be provided with automatic daylight harvesting controls that will adjust lighting in the daylight zones to maintain 50fc average on the work surfaces below.
- Dorms and areas that would be considered living quarters and include most of the second-floor spaces will be provided with color tunable lighting system. The system will be designed to automatically tune the artificial lighting system to mimic natural light properties throughout the required rooms.
- Battery powered emergency lighting will be provided throughout where required for illuminating the egress pathways, mostly in corridors or similar areas used for passageways.

5. Exterior Lighting:

- Exterior façade of the building will be illuminated using wall packs. The wall packs will also provide perimeter illumination where installed.
- Parking areas and driveways will be illuminated by using 20ft pole mounted site luminaires. Poles will be aluminum 4" square.
- All exterior lighting will be time schedule controlled with photocell override. Digital controller will allow owner to set schedule for 365 days.

6. Voice/Data:

- Two 4" underground conduits will be provided to the service connection point on the overhead pole for communication systems services.
- Demark backboard will be provided in the communications room for the services.
- Three 4" PVC underground conduits will be provided from the main IT room to exterior of the facility and owner provided underground vault, final location will be coordinated with the owner. One raceway will be provided with 24-strand, ST/UP fiber optic cable, final termination will be by owners representative.
- Communications room will be provided with two 2-post floor mounted racks to be used by owner for housing voice and data equipment. Dedicated power connection to the rack will be provided.
- Layout of voice and data outlets will be provided by architect/engineer, with owners input, each outlet shall be provided with two Category 6 data cables back to data rack for termination at a patch. All terminations at the patch panel and at jack will be by contractor.

7. Security Systems/CCTV/Cable TV:

- All system design and wiring shall be provided by the Owner under separate contract(s). This project will provide infrastructure (conduit, boxes, and wiring) only. The rough-in requirements will be coordinated with the Owner and their IT/security systems representative.
- Power for all head end equipment will be coordinated and provided where required by owner supplied systems.

8. Alerting Systems:

- All system design and wiring shall be provided by the Owner under separate contract. This project will provide rough-ins and wiring. The rough-in requirements will need to be coordinated with the Owner.

9. Audio/Visual Systems:

- System design will be coordinated with owner under separate contract and meet needs of the space.
- Audio components shall include but not limited to, wired and wireless mics, localized speakers, monitor/TV and sound system for plug in and Bluetooth devices.
- Video components shall include but not limited to projector, computer, Blu-ray DVD player, and local monitor/TV.



- Connections for outside devices will be available at front and rear of rooms, or at owner's direction.

10. Fire Alarm System:

- The new addressable fire alarm system will be provided. Since the building will be fully sprinklered, the fire alarm system's automatic detection will be minimal.
- Devices will be installed as follows:
 - A remote annunciator panel will be located at the main building exit, or Lobby.
 - Manual fire alarm pull stations will be installed within 5' of each exit doorway, and additional pull stations throughout corridors and exits such that distance of travel to any station is less than 200 feet on the same floor. Units will be installed 48" above finished floor to operating handle.
 - Sprinkler system flow and tamper switches will be monitored by the Fire Alarm Control Unit (FACU).
 - Smoke detector will be provided as required by Code.
 - Magnetic door holders will be installed at doors at each fire separation as required.
 - Duct smoke detectors will be provided in each air-handling unit ductwork with an air capacity of 2000cfm and greater. Fire alarm wiring will be provided to each equipment controller to facilitate unit shutdown in case of fire alarm.
 - Horn/Strobe notification device will be provided in accordance to with NFPA 72 requirements.
 - Carbon monoxide system will be provided with sensors located in the vehicle storage areas as well as in areas that are serviced by equipment utilizing the fossil fuels, such as furnaces or HVAC equipment. CO detection will also be provided in the kitchen as well as sleeping rooms. The system will be monitored by the fire alarm control panel.

11. Power to Mechanical Equipment/Systems:

- Electrical power will be provided to all mechanical equipment, fans, pumps, etc.
- Dedicated panelboard will be provided for required connections to mechanical equipment. Voltage available for equipment is 480V, 3-phase, 480V single phase 208V, 3-phase and 208V single phase, as well as 277V and 120V.
- Equipment will be provided with factory mounted VFDs.
- Disconnects or receptacles will be provided where required by code.

12. Miscellaneous Requirements:

- Apparatus bays shall be provided with one cord reel for each engine and other vehicle locations. Cord reels shall have 50-foot cords with a stopper set such that the receptacle hangs at a set height above the floor. They shall also be compatible with the Owners automatic disconnect system on their fire trucks.
- Electrical vehicle charging stations will not be provided but two 40A spare circuit breakers will be provided for future connections of two Level 2 EV chargers.
- Power will be provided for overhead doors to the apparatus bays.



Mechanical Narrative

Building Heating Systems

The bulk of the heating will be provided by three natural gas high efficiency condensing hot water boilers. Each boiler will be capable of providing 50% of the building heating load, enabling some redundancy in the system should one of the boilers experience failure or require service during the heating season. The entire building hot water heating system is anticipated to be approximately 1,450,000 btu/hr. Each boiler will have an approximate capacity of 725,000 btu/hr.

The hot water piping system shall be specified as type L Copper pipe with solder fittings. Piping will be insulated in accordance with the International Energy Conservation Code. This piping system will distribute hot water to in-floor hydronic manifolds, snow melt manifolds and other terminal equipment with a two-pipe supply/return system. The hydronic pumping arrangement will consist of a primary/secondary system with lead/lag redundant pumping control. Pumps will be variable speed to control flow and reduce energy use. Refer to the space planning drawing of the mechanical mezzanine for the anticipated equipment sizes and locations.

Spaces within the office areas and other occupied areas have exterior wall exposure on the 1st floor will be provided with in-floor radiant heat from the main boiler plant. Radiant zones will extend from the exterior wall into the space 4 feet. Zones will be grouped together based on exposure and control based on a combination of space temperature and outside air temperature.

Snow melt zones shall be provided, as an alternate bid item, outside of each of the pedestrian entryways.

All in-floor and in-slab piping systems will be an EPDM piping, equal to Onix manufactured by Watts Radiant. Each piping zone will be seamless and jointless piping lengths to minimize the possibility of failure within the slab.

Apparatus Bay and Command Garage Heating and Ventilation Systems

Radiant in-floor heating will provide the primary heating source. Hot water will be distributed to approximately five (5) low temperature (120 deg F) hot water zones of in-floor radiant heating from the building heating system. Additionally, wall or ceiling hung hot water unit heaters will be provided for supplemental heat throughout the bays and garage. De-stratification fans will be used to circulate air and avoid stratifying warm air at the underside of the roof deck. The bays and garage will not be cooled to reduce energy consumption of the facility.

The ventilation system for the Apparatus Bay and Command Garage will consist of a natural gas indirect fired energy recovery unit with a plate and frame heat exchanger. The Apparatus Bay and Command Garage will be controlled by an automatic CO/NO₂ exhaust



detection system. The proposed system will normally exhaust 0.15 cfm/sf from the area and will be capable of modulating up to an exhaust rate of 0.75 cfm/sf of floor area when either CO or NO₂ exceeds allowable levels. The system shall operate in the higher exhaust rate mode for a minimum of 5 hours per day to meet the Wisconsin Mechanical Code.

The ventilation units shall provide pre-tempered ventilation air for the Apparatus Bay and Command Garage and will exhaust air through the plate and frame heat exchanger. The Apparatus Bay and Command Garage will be negatively balanced in relation to the adjacent, connecting, spaces.

The adjacent and connecting spaces such as the Watch Room, Gear Lockers, Workshop, Decon Suite, Storage Rooms and Corridors will be conditioned with a dedicated energy recovery unit. The unit will exchange energy between supply and exhaust air streams to reduce energy usage and elevate odor and moisture removal. The unit will be provided with a supplemental heating and cooling coil.

Should the department elect to install a direct tail pipe exhaust system within the Apparatus Bay or Command Garage, a 24"x24" roof curb with removable cap will be in place for routing of future exhaust ductwork through the roof.

Building Conditioning Systems

Packaged rooftop units will provide heating, cooling, and ventilation to spaces outside the Apparatus Bay and Command Garage. The building will be broken into five (5) main zones with spaces broken down as indicated on the included zoning plan. The basement is RTU is expected to be broken down into 6 VAV zones but will be finalized once the final floor plan is approved. The packaged rooftop units will deliver conditioned air through insulated sheet metal ductwork to each space. The anticipated sizes for the packaged rooftop units are:

1. Basement – 17.5 tons
2. 1st Floor Offices, Lobby, Conference– 15 tons
3. Training Room – 7 tons
4. Dorms – 15 tons
5. Day Room/Kitchen – 4 Tons

The packaged rooftop units will provide continuous ventilation of the spaces per the requirements of the International Mechanical Code. The units will be equipped with an economizer section as required by the International Mechanical Code. The economizer section will allow full outside air to utilize free cooling whenever the system(s) are in cooling and the outside air temperature is lower than the return air temperature.

Each RTU will be provided with MERV-8 pre-filters and MERV-13 final filters to filter the air a level currently recommended by the CDC.



The main zones will be further broken down into control areas using variable volume terminal units as indicated on the included zoning plan. Each space or grouping of similar spaces within a zone will be provided with a terminal unit and point of temperature control. The terminal units will have a hot water reheat coil to provide additional temperature control to each zone for added thermal comfort.

The Training Room unit will be single zone packaged rooftop unit.

Supply ductwork will be provided throughout and sized to accommodate heating, cooling and ventilation requirements. Ductwork system will be insulated in accordance with the International Energy Conservation Code. As a cost and space saving measure, return air plenum will be utilized in lieu of ducted return to deliver air back to the packaged rooftop units. Transfer openings will be required to move air between spaces where full height walls are constructed. All materials above the ceiling, such as data cabling and plumbing piping, will be plenum rated.

A ductless air conditioning system will serve the I.T. closet. This system will have a wall mounted evaporator and an air-cooled condensing unit located in the mechanical room. The system will be designed to offset the cooling load generated from the I.T. equipment provided within the closet. The system will be designed to operate 12 months a year and maintain a space temperature as required by the I.T. equipment to prevent premature failure.

General exhaust will be provided as required for the building per the requirements of the International Mechanical Code. Generally, spaces such as toilet rooms, shower rooms, locker rooms, janitor's closets, kitchen areas, and other areas where odor control is necessary. Exhaust will be removed from the building through powered roof ventilators.

Training Systems

The hose training tower and training hallway on the roof will each be provided with an exhaust fan to relieve smoke produced during training exercises. The exhaust fans shall be manually operated with a switch.

Controls

The building will be provided with a Digital Direct Controls (DDC) to operate the HVAC system. The system will allow temperature control monitoring and adjustment as well as alarm notification and viewing of equipment statuses. The system will be web-based, meaning it will be available to be accessed through any device with an internet browser.



It will also be password protected to control the access to the system. Schneider Electric will be used as the desired basis of design for control hardware.

Temperature sensors will be provided for all control zones. Sensors in private areas will allow occupant temperature set point adjustment within a set range. Sensors in public spaces will not be provided with local temperature adjustment. Wall sensors in the meeting room, training room, and other large occupancy spaces will also lack local temperature adjustment to prevent undesired occupant temperature adjustment.

HVAC Equipment Manufacturers

The following manufacturers will be specified; however, a minimum of two additional manufacturers will be listed to encourage competitive bidding:

1. Packaged Rooftop Units: Trane Horizon.
2. Energy Recovery Unit: Renew-Aire.
3. Boilers: Lochinvar.
4. Pumps, hydronic specialties, and in-floor radiant heating system: Bell and Gossett.
5. Makeup air units and fans: Trane.
6. Terminal units and diffusers: Price.
7. Temperature Control System: Schneider Electric.



Fire Protection & Plumbing Narrative

Fire Protection System Description

1. The fire protection system will be designed to meet or exceed the requirements of the currently adopted version of NFPA 13. NFPA 13 provides minimum sprinkler system requirements based on the content and usage of the spaces being protected. This code establishes a minimum density of water required on the floor, measured as gallons per minute, per square foot (GPM/SF), as well as many other characteristics of the system.
2. The property is located on the corner of W Adams St. and N Court St. in the town of Platteville, WI. We have received fire hydrant flow test data for the property. Based on these tests and because the standard fire protection design for fire stations is a fairly low overall hazard, we are hopeful that the water supply will be adequate. This will be confirmed once we begin sprinkler system design and perform hydraulic calculations, but we do not currently anticipate a fire pump being needed.
3. A combined 6" fire-water service will be brought into the building from the street. The service will then be split inside the building with a 4" service line for fire protection and a 3" line for the domestic water. Inside the building the fire protection line will have a 4" double check detector assembly (DCDA) to protect the water supply from contamination.
4. Zone 1 will be a wet pipe sprinkler system serving the Fire Apparatus Bays. For this zone, piping will be schedule 40 galvanized steel with grooved or threaded fittings. Sprinkler heads will be quick response, upright type heads with a k-factor of 5.6 and provided with an electroless nickel type corrosion resistant finish. A classification of ordinary hazard group 2 will require a water density of 0.20 GPM/SF across a 1500 SF design area.
5. Zone 2 and zone 3 will be a wet pipe sprinkler system serving essentially all other spaces in the building, on the first floor and second floor respectively. Spaces including but not limited to all office space, conference rooms, storage, laundry, gear spaces, and dorm rooms are covered in these two zones. Zone 2 will include the first and second floor spaces, while Zone 3 covers the basement. This system will be composed of schedule 40 black steel pipe with grooved or threaded fittings. Semi-recessed, white sprinkler heads with a k-factor of 5.6 shall be utilized throughout all spaces with ceilings. Where ceilings do not exist in these spaces, similar white upright heads will be used in finished spaces and bronze upright heads for unfinished spaces. These spaces will be a mix of light hazard and ordinary hazard occupancies. The majority of this area will require 0.10 to 0.15 GPM/SF across a 1500 SF design area.
6. The IT room on the first floor will be protected with a dry barrel sidewall sprinkler head. This will prevent any water filled fire protection piping from being routed above the IT Room, to help prevent any possible water damage. The head will also be protected with a security cage to prevent any physical damage that could cause a leak.
7. An inspector's test and drain valve will be integral to each zone riser for system testing.
8. NFPA 13 requires that wet systems be maintained in areas at or above 40° F, so all spaces within the building will be heated by the HVAC system beyond this temperature.



9. The hose training tower will be equipped with a manual dry standpipe system, containing a hose valve at each floor and a fire department connection on the exterior at the first-floor level. The standpipe system shall be a 4" schedule 40 galvanized steel pipe riser extending up to the top floor. Each floor level shall be equipped with a brass gate valve having 2-1/2" threaded male outlet, cap and chain. The dedicated fire department connection on the exterior will be clearly labeled for training use only.
10. A dual inlet, flush mounted fire department connection will also be provided on the building to serve the wet pipe sprinkler system.

Plumbing System Description

1. The plumbing systems throughout this facility will be designed to meet the 2015 Wisconsin State Building Code, including the Mechanical Code, Fuel Gas Code, Energy Code, and Wisconsin Plumbing Code. These codes provide minimum requirements based on occupancy, space type and the sites' climatic location to determine fixture counts, hot/cold water demand, building drainage, sanitary and vent system requirements.
2. We will coordinate with Platteville Water and Sewer Utility for specific water service requirements, and Alliant Energy for natural gas service requirements.
3. The building's combined 6" water service will be split inside the building, to provide a 3" domestic water line which will be metered. The domestic water service will be large enough to accommodate a 2-1/2" truck fill line. Cross contamination control devices will be provided throughout the facility at all hazardous cross connection sources as specified by the Wisconsin Plumbing Code.
4. The apparatus bays will have cold domestic water supply provided in each bay for truck washing, and 2-1/2" truck-fill outlet provided between bays. The piping serving these fill outlets will have its own double check type backflow preventer to avoid drinking-water contamination. Hose bibbs will be provided on columns between garage doors.
5. Apparatus Bays will be provided with heavy-duty trench drains.
6. Plumbing fixtures will be wall mounted vitreous china lavatories, stainless-steel sinks throughout all other spaces, floor mounted water closets with exposed flush valves, and stainless-steel water fountains with bottle filler where required. All showers will have shower handles. There will be dedicated ADA fixtures for the facility. Toilets shall use battery powered sensor flush valves and lavatories shall use battery powered faucets. Faucets on all other sinks and fixtures shall be manually operated.
7. Water heating will be provided with a high-efficiency, natural gas, tank-type water heater, with a system wide thermostatic mixing valve. All lavatories will be provided with individual thermostatic mixing valves. The hot water system will have a hot water return piping system, expansion tank and hot water return pump to meet current energy codes.
8. Residential laundry will be provided with a combination wall box to provide hot water, cold water, and sanitary discharge for the washing machine. The gear washer/extractor will be



- provided with hot and cold water connections, and a drain trough set in the floor.
9. An emergency eyewash station will be provided in each of the in the apparatus bays.
 10. Steam generators will be provided for each of the Decon shower stalls. The steam generators will be provided with a cold water connection and floor drain. Each generator will be piped into the shower stall and be equipped with a controller for the user to turn the steam on and off.
 11. Piping associated with the domestic water system will be copper with soldered joints.
 12. Piping associated with below grade Sanitary and Vent system will be DWV, solid core PVC. Above grade piping will be based on fire rating of the enclosures. Where required, the vent piping located in plenum ceilings will be cast iron soil pipe.
 13. All flat areas of the roof will be provided with roof drains and storm piping routed down through the building to the storm drain system. Where the roof has a parapet, secondary roof drains will be installed, and will discharge above grade through exterior walls.
 14. Piping associated with storm system will be insulated DWV, solid core PVC. Above grade piping will be based on fire rating of the enclosures. Where required, the piping will be cast iron soil pipe.
 15. An air compressor will be provided to serve the apparatus bays. Outlets will be provided at both ends of each bay and as requested.
 16. Piping associated with compressed air system will be Schedule 40 steel with threaded fittings.
 17. A garage catch basin will be provided for the Fire Apparatus Bays per Wisconsin state code. The catch basins will be located beneath the floor slab in a location near the overhead doors to make clean out and maintenance easy.

Structural Narrative

SCHEMATIC DESIGN – STRUCTURAL NARRATIVE

PROJECT DESCRIPTION

The new Platteville Fire Station, located in Platteville, Wisconsin, will be a two-story essential facility building. The first-floor level will consist of lobby space, offices, a training/community room, back of house support services and a seven stall Fire Apparatus Bay. The second floor will consist of dorm rooms, kitchen and day room space, an exercise room, mechanical/mezzanine space and exterior patio. There will be an elevator and two stair towers with one doubling as a hose/training. The project will also include an alternate for a +/-8,100 square foot basement below a portion of the first-floor office/back of house spaces.

The following information is to be used in conjunction with the schematic structural drawings to qualitatively describe the proposed structural systems for this project.

FOUNDATION

The new building structure will be supported on conventional reinforced concrete spread footings and concrete foundation walls. The project specific geotechnical evaluation report prepared by Chosen Valley Testing, Inc., report no. 20919.22.WIL, recommends that soil corrections be performed beneath portions of the proposed building prior to placing footings and foundation walls. See the report for additional information on the soil corrections and for additional site preparation requirements.

For the basement alternate, restrained concrete basement walls will be used at the perimeter and will be braced by the basement floor slab at the bottom and the first-floor level framing at the top. Drain tile will be used at the exterior perimeter of all foundations to control and reduce the effects of ground water.

WALL CONSTRUCTION

The exterior walls of the apparatus bays and back-of-house areas will be 12" load bearing CMU walls. The exterior walls of the one-story office area will be a combination of 8" load bearing CMU walls and 6" load bearing steel stud walls. Interior CMU bearing walls will be used to support the loads from above where appropriate. Non-load bearing walls will consist of a combination of steel studs and non-load bearing CMU in conjunction with the architectural program.

FLOOR FRAMING

The first-floor level will be concrete slabs on grade. The slab in the office areas will be a 4" thick and reinforced with synthetic fibers. The slab in the Fire Apparatus Bay will be 7" thick and mild reinforced with #4 at 1'-4" on center each way. An additional inch of concrete should be added to the slab thickness if/where radiant heating will be placed within the slabs.

The first-floor framing over the alternate basement will be 10" precast concrete floor plank with a 3" non-structural concrete topping. The floor planks will be supported on concrete basement walls at the basement perimeter and load bearing CMU walls at the interior.

The second-floor level will be 10" precast concrete floor plank with a 3" non-structural concrete topping. The floor planks will be supported on CMU bearing walls and structural steel beams and columns.

ROOF FRAMING

The roof structures will consist of 1 ½" steel roof deck (1.5B) over open web steel joists spaced at 5'-0" on center. Actual spacing of joists may vary to accommodate snow drift loading and mechanical rooftop units. The roof joists will be supported on a combination of CMU and light gauge steel bearing walls, and structural steel beams and columns.

LATERAL SYSTEM

Lateral forces on the building will be resisted by the roof and floor diaphragms, CMU shear walls and light gauge steel framed shear walls sheathed with SureBoard and attached with mechanical holdowns.

BUILDING CODES AND REFERENCES

BUILDING CODES

- 2018 Wisconsin Administrative Code, Chapter SPS 362. [a]
- 2015 International Building Code (IBC). [b]

REFERENCES

- Minimum Design Loads for Buildings and Other Structure, ASCE 7-10. [c]
- Concrete: Building Code Requirements for Structural Concrete and Commentary, American Concrete Institute, ACI 318-14. [d]
- Masonry: Building Code Requirements for Masonry Structures, American Concrete Institute, ACI 530-13 / TMS 402-13 / ASCE 5-13. [e]
- Structural Steel: Specification for Structural Steel Buildings, Fourteenth Edition, American Institute of Steel Construction, AISC 360-10. [f]
- Cold Formed Steel: North American Specification for the Design of Cold-Formed steel Structural Members, AISI 2012. [g]

LOADING CRITERIA

The following is a summary of the project-specific loading criteria. This loading meets or exceeds the requirements of the IBC and incorporates loading requirements specific to this project.

GRAVITY LOADING

The following loads are in addition to the self-weight of the structure. The minimum loading requirements have been taken from Table 1607.1 of the International Building Code. Live loads are reduced where permitted in accordance with Section 1607.10. Loads are given in pounds per square foot (psf).

Table 1. Gravity Loads

Use	Live Loading	Superimposed Dead Loading
Offices	50 psf (reducible)	5 psf MEP/Ceiling <u>15 psf Partitions</u> = 20 psf Total SDL
Training Room and Public Areas	100 psf (not reduced)	5 psf MEP/Ceiling <u>5 psf Partitions</u> = 10 psf Total SDL
Exercise Room	80 psf (not reduced)	5 psf MEP/Ceiling <u>5 psf Misc.</u> = 10 psf Total SDL
Kitchen and Day Room	60 psf (not reduced)	5 psf MEP/Ceiling <u>5 psf Misc.</u> = 10 psf Total SDL
Dorm Rooms	40 psf (not reduced)	5 psf MEP/Ceiling <u>5 psf Misc.</u> = 10 psf Total SDL
Hose Tower Stairs and Landings	100 psf (not reduced)	5 psf MEP/Ceiling <u>5 psf Misc.</u> = 10 psf Total SDL
Mechanical and Light Storage	125 psf (not reduced)	5 psf MEP/Ceiling <u>5 psf Partitions</u> = 10 psf Total SDL
Command Garage	HS15 AASHTO Truck Loading	
Fire Apparatus Bay	HS20 AASHTO Truck Loading	

SNOW DESIGN CRITERIA

Snow loading is in accordance with the 2018 Wisconsin Commercial Building Code and ASCE 7-10 requirements. Snow drifting, unbalanced loading and partial loading are considered in the design of the roof framing.

Table 2. Snow Design Criteria

Parameter	Value
Ground Snow Load (P_g)	30 psf
Exposure	Terrain Category C
Exposure Factor (C_e)	1.0
Thermal Factor (C_t)	1.0
Importance Factor (I_s)	1.2
Flat Roof Snow Load (p_f) $p_f = 0.7C_eC_tI_sP_g$	25 psf

WIND DESIGN CRITERIA

Wind loading is in accordance with the 2018 Wisconsin Commercial Building Code and ASCE 7-10 requirements.

Table 3. Wind Design Criteria

Parameter	Value
Basic Wind Speed, 3-second gust (V)	120 mph Ultimate 93 mph Allowable
Exposure	C
Risk Category	IV
Enclosure Classification	Enclosed
Internal Pressure Coefficient (GC_{pi})	± 0.18
Mean Roof Height (h)	16 to 25 feet

SEISMIC DESIGN CRITERIA

Seismic loading is in accordance with the 2018 Wisconsin Commercial Building Code and ASCE 7-10 requirements.

Table 4. Seismic Design Criteria

Parameter	Value
Coordinates	42.7383 Deg. West 90.4782 Deg. North
Risk Category	IV
Site Class	D (default)
Importance Factor	1.5
Mapped Spectral Acceleration Parameters	$S_S = 0.075$ $S_1 = 0.046$
Spectral Response Coefficients	$S_{DS} = 0.080$ $S_{D1} = 0.074$
Seismic Design Category	C

MATERIALS

The material properties used for design include the following:

Table 5. Material Properties

Member	Strength
Non-structural Concrete	$f'_c = 3.0$ ksi at 28 days
Interior Slabs on Grade, Sidewalks, Curbs, Mechanical Pads	$f'_c = 4.0$ ksi at 28 days
Exterior Slabs on Grade, Sidewalks, Curbs, Mechanical Pads	$f'_c = 4.5$ ksi at 28 days
Concrete Footings and Foundation Walls	$f'_c = 4.0$ ksi at 28 days
8" Masonry Walls	$f'_m = 2.5$ ksi at 28 days
12" Masonry Walls	$f'_m = 2.5$ ksi at 28 days
Concrete and Masonry Reinforcing Steel	60 ksi
Structural Steel – W Shapes	$F_y = 50$ ksi, ASTM A992
Structural Steel – Angles, Channels and Plates	$F_y = 36$ ksi, ASTM A36
Structural Steel – Pipes	$F_y = 35$ ksi, ASTM A53
Structural Steel – Square or Rectangular Tubes	$F_y = 46$ ksi, ASTM A500

Schematic Design Drawings



CITY OF PLATTEVILLE

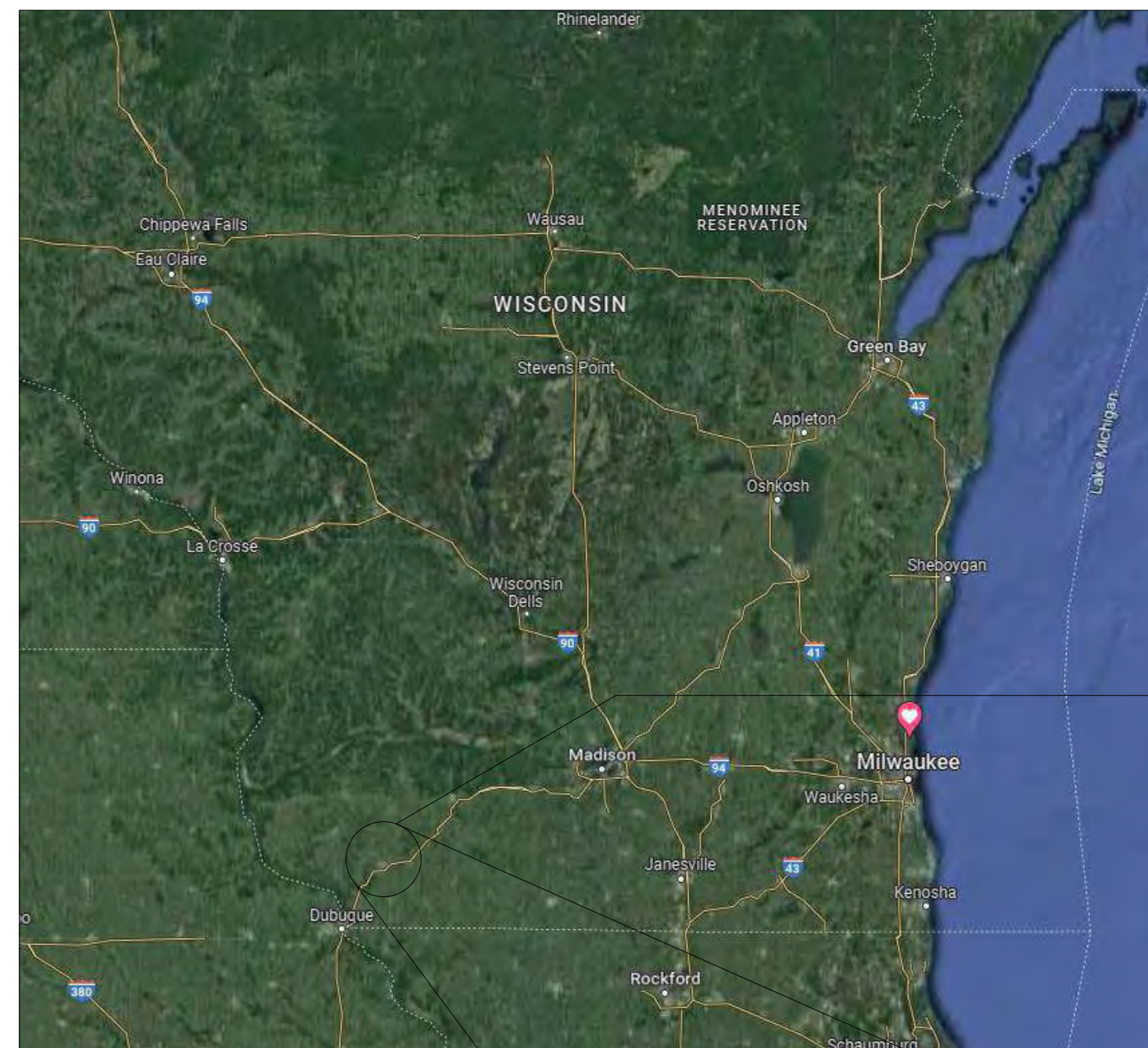
PLATTEVILLE FIRE STATION
PLATTEVILLE, WI 53818

SCHEMATIC DESIGN
04.07.2023

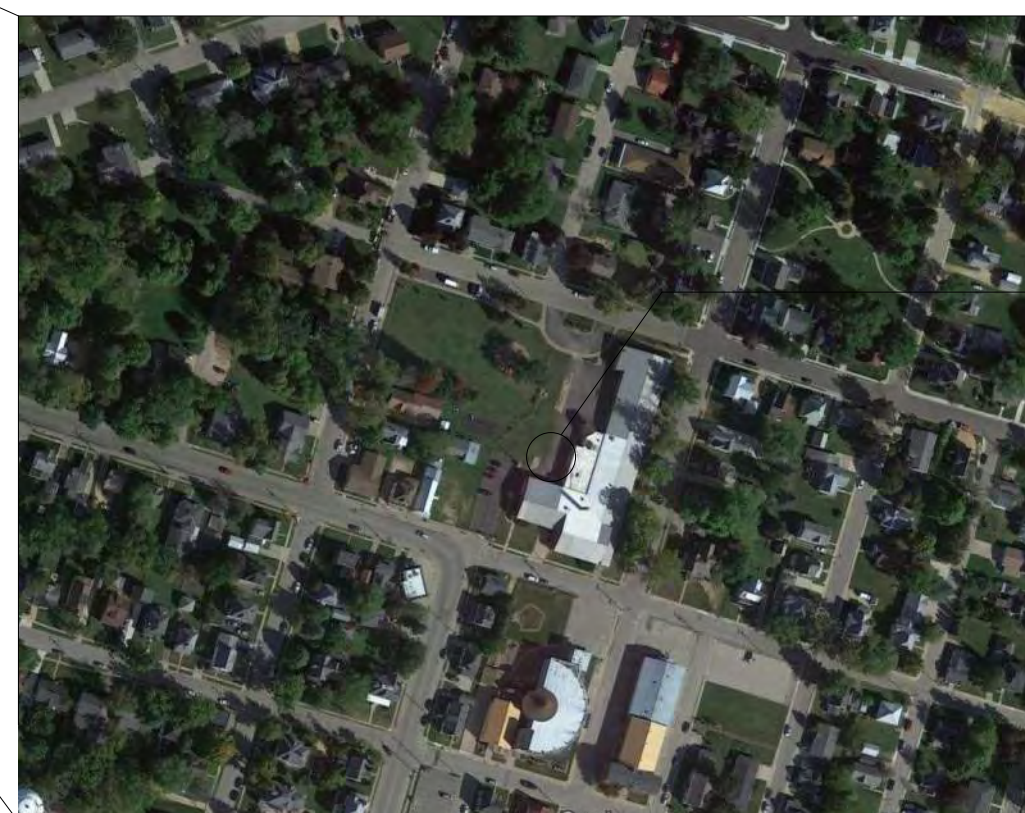


204 E. Grand Avenue, Suite 200
Eau Claire, WI 54701
www.wendelcompanies.com
p:715.632.4848 f:877.293.6335

Wendel Project No. 608901



SITE



PROJECT LOCATION

DRAWING INDEX

GENERAL

G001 COVER PAGE
G101 CODE COMPLIANCE PLANS

CIVIL

C300 OVERALL GRADING AND EROSION CONTROL PLAN

STRUCTURAL

S101 ALTERNATE MAIN FLOOR FRAMING PLAN
S102 SECOND FLOOR / LOW ROOF FRAMING PLAN
S103 ROOF FRAMING PLAN

ARCHITECTURAL

A101 ALTERNATE BASEMENT DIMENSION PLAN
A102 ALTERNATE BASEMENT FLOOR PLAN
A111 FIRST FLOOR DIMENSION PLAN
A112 FIRST FLOOR PLAN
A121 SECOND FLOOR DIMENSION PLAN
A122 SECOND FLOOR PLAN
A150 ROOF PLAN
A201 ENLARGED PLANS
A301 ELEVATIONS
A302 ISOMETRIC ELEVATIONS
A350 BUILDING SECTIONS
A351 BUILDING SECTIONS
A352 ALTERNATE BUILDING SECTIONS

INTERIOR DESIGN

I101 FIRST FLOOR FINISH PLAN
I102 SECOND FLOOR FINISH PLAN

MECHANICAL

M100 FIRST FLOOR PLANS ZONING
M101 MEZZANINE / SECOND FLOOR PLAN ZONING

PROJECT TEAM

ARCHITECT

WENDEL
LAURA EYSMOGUE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lsey@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER

JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5090
matt.haase@psdinc.com

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.9995
tom@nca-duluth.com

MECHANICAL

WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
niver@wendelcompanies.com

PLUMBING/FIRE PROTECTION

WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
niver@wendelcompanies.com

ELECTRICAL

WENDEL
JOHN RAJEN
375 ESSJAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jrajen@wendelcompanies.com



PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lseyngole@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.844.5000
matt.hase@jpdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 214 AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995
tom@ncc-duluth.com

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

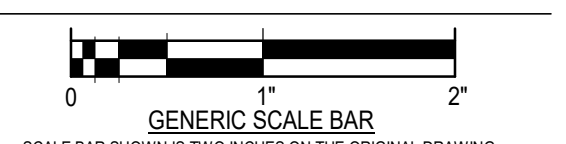
ELECTRICAL
WENDEL
JOHN RAULEN
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jraulen@wendelcompanies.com

THIS DOCUMENT, AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN, ARE THE PROPERTY OF WENDEL ARCHITECTURE, P.C. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF WENDEL ARCHITECTURE, P.C. ANY UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO.	REVISIONS	DATE

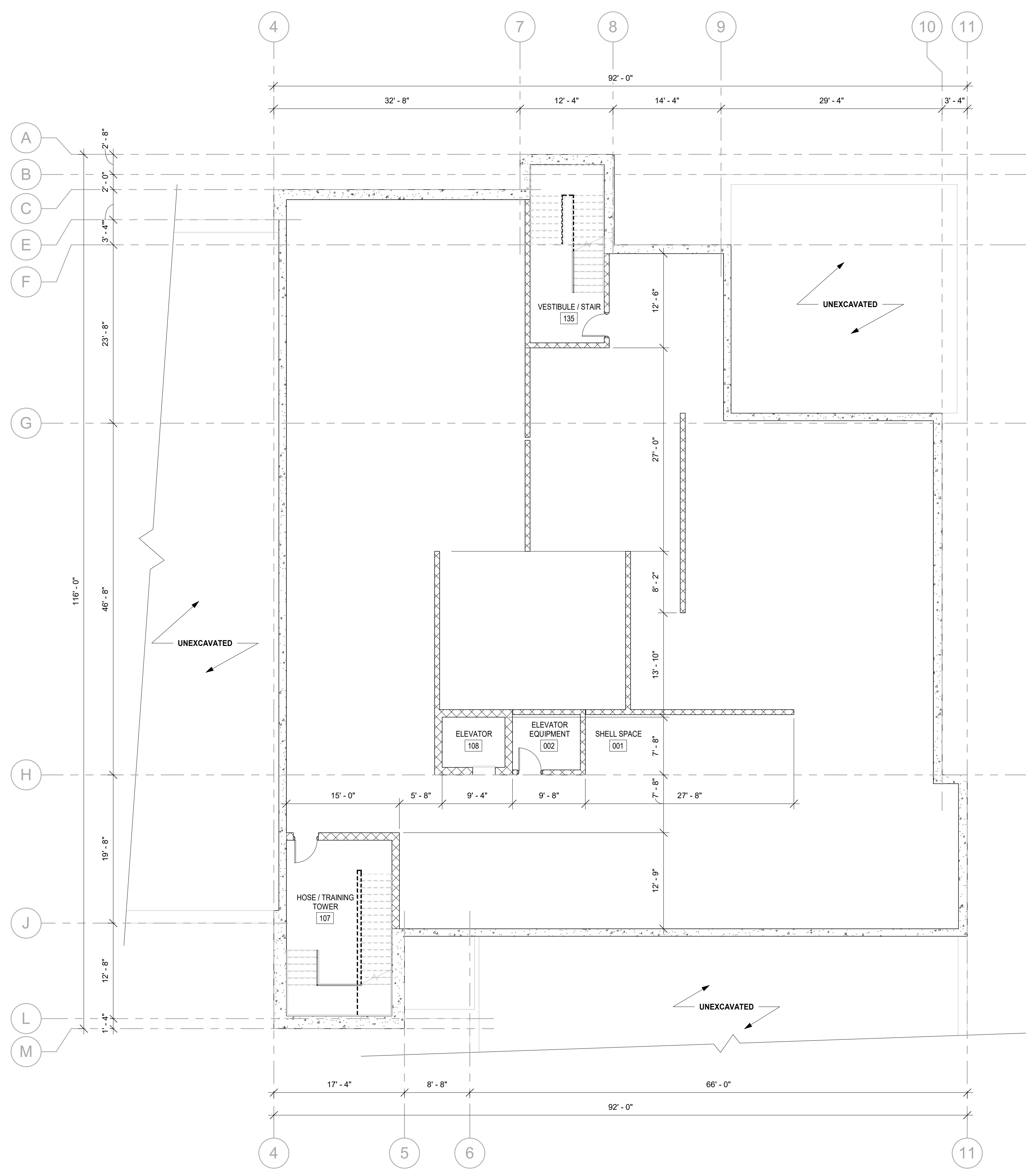
DWG. TITLE

ALTERNATE BASEMENT DIMENSION PLAN

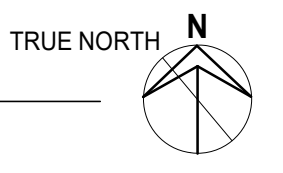


DATE: 02/28/2023
SCALE: As indicated
DWN: Author CHK: Checker
PROJ. No: 608901
DWG. No:

- GENERAL DIMENSIONAL PLAN NOTES**
- EXTERIOR DIMENSIONS:
 - EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD
 - MASONRY WALLS: OUTSIDE OF FINISHED WALL SURFACE TO OUTSIDE OF FINISHED WALL SURFACE
 - OPENINGS: INSIDE FACE OF OPENING.
 - INTERIOR DIMENSIONS:
 - STUD WALLS: FACE OF STUD, NOMINAL
 - CMU WALLS: FACE OF CMU, NOMINAL
 - OPENINGS: INSIDE FACE OF OPENING.
 - DOOR DIMENSIONS:
 - CMU HINGE SIDE OF DOOR FRAMES IN WALLS SHALL BE 6" FROM PERPENDICULAR WALL, UNO.
 - GYP. BD. HINGE SIDE OF DOOR FRAMES IN SHALL BE 6" FROM PERPENDICULAR WALL, UNO.



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



FOR REFERENCE ONLY. ALTERNATE WOULD BE TO SHELL OUT BASEMENT AS SHOWN ON PREVIOUS SHEET.

GENERAL DIMENSIONAL PLAN NOTES

1. EXTERIOR DIMENSIONS:
 - 1.1 EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD
 - 1.2 MASONRY WALLS: OUTSIDE OF FINISHED WALL SURFACE TO OUTSIDE OF FINISHED WALL SURFACE
 - 1.3 OPENINGS: INSIDE FACE OF OPENING.
2. INTERIOR DIMENSIONS:
 - 2.1 STUD WALLS: FACE OF STUD, NOMINAL
 - 2.2 CMU WALLS: FACE OF CMU, NOMINAL
 - 2.3 OPENINGS: INSIDE FACE OF OPENING.
3. DOOR DIMENSIONS:
 - 3.1 CMU HINGE SIDE OF DOOR FRAMES IN WALLS SHALL BE 6" FROM PERPENDICULAR WALL, UNO.
 - 3.2 GYP. BD. HINGE SIDE OF DOOR FRAMES IN SHALL BE 6" FROM PERPENDICULAR WALL, UNO.



204 E. Grand Avenue, Suite 200
Eau Claire, WI 54701
www.wendelcompanies.com
p:715.832.4848 f:677.293.6335

Wendel Architecture, P.C.

PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYNSOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lseynsog@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5000
matt.haase@jpdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SCOTCH 214 AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5955
tom@ncc-duluth.com

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

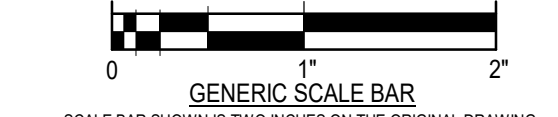
PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAULEN
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jraulen@wendelcompanies.com

THIS DOCUMENT, AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN, ARE THE PROPERTY OF WENDEL ARCHITECTURE, P.C. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF WENDEL ARCHITECTURE, P.C. ANY SUCH REPRODUCTION, COPIING, OR TRANSMISSION IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

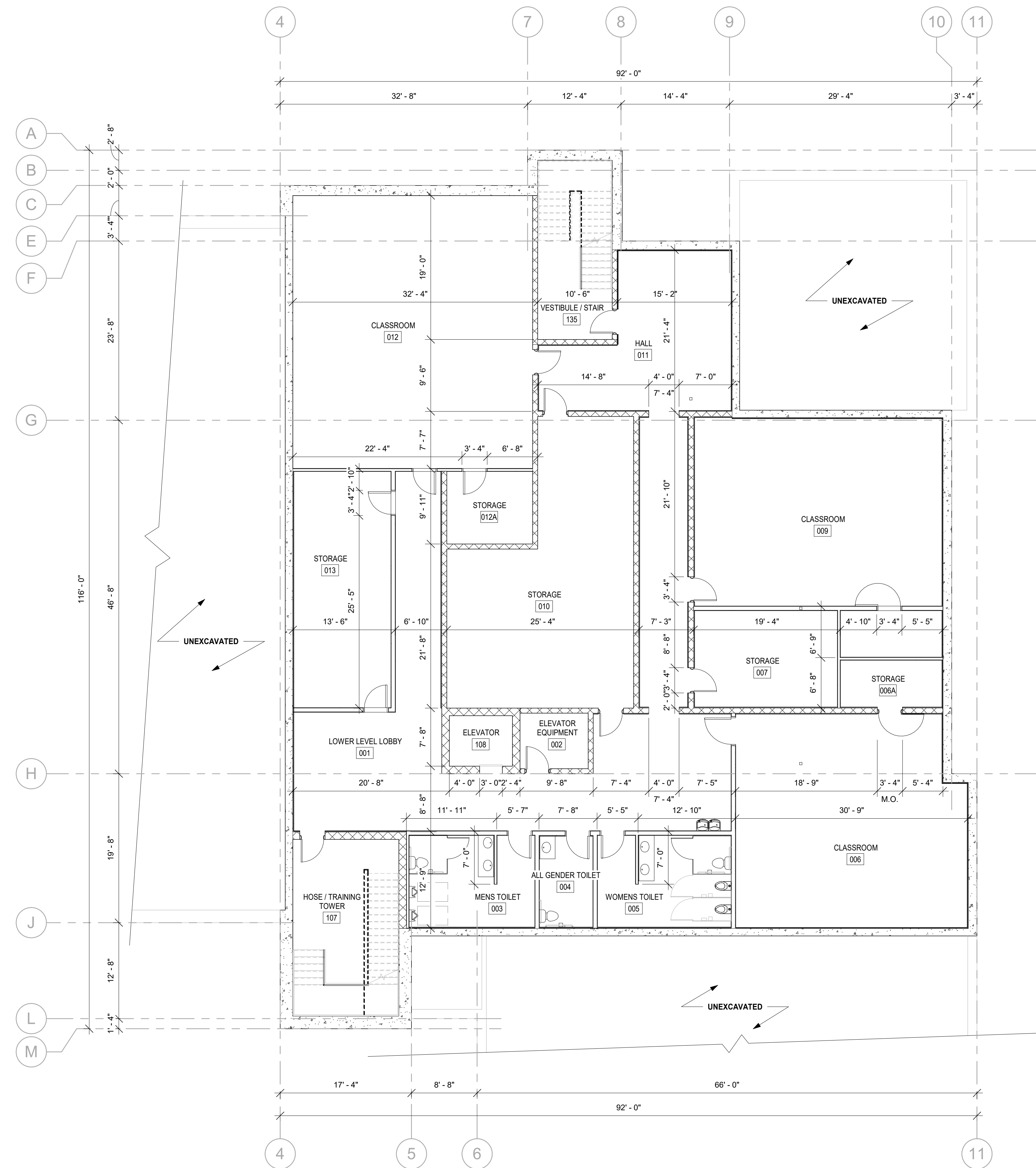
NO.	REVISIONS	DATE

ALTERNATE BASEMENT DIMENSION PLAN



DATE: 04.07.2023
SCALE: As indicated
DWN: Author CHK: Checker
PROJ. No: 608901
DWG. No:

A101



1 BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYNSOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lseynsog@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5000
matt.hase@jdsinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 214 AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.9999
tom@ncc-ellc.com

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

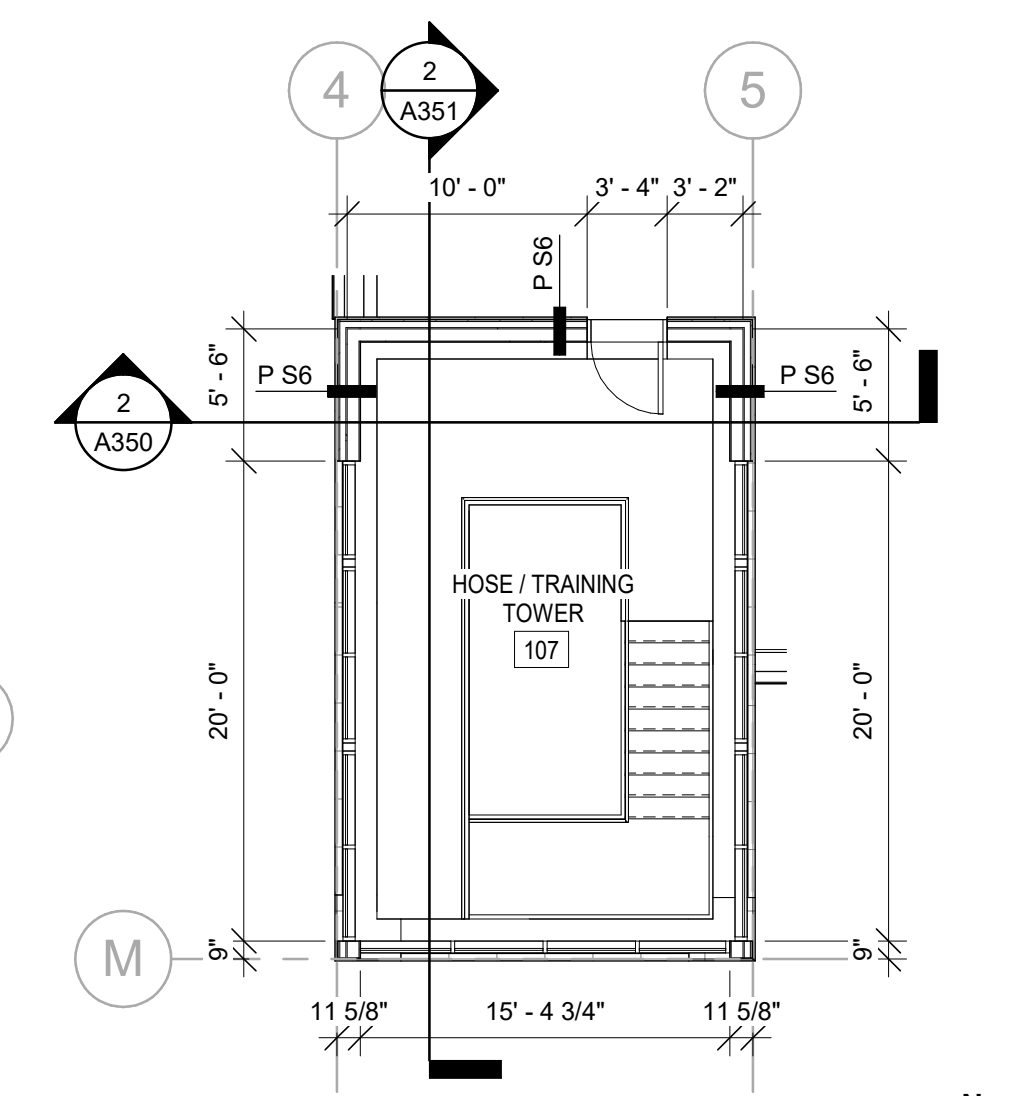
ELECTRICAL
WENDEL
JOHN VALEN
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jvaun@wendelcompanies.com

GENERAL CONSTRUCTION NOTES

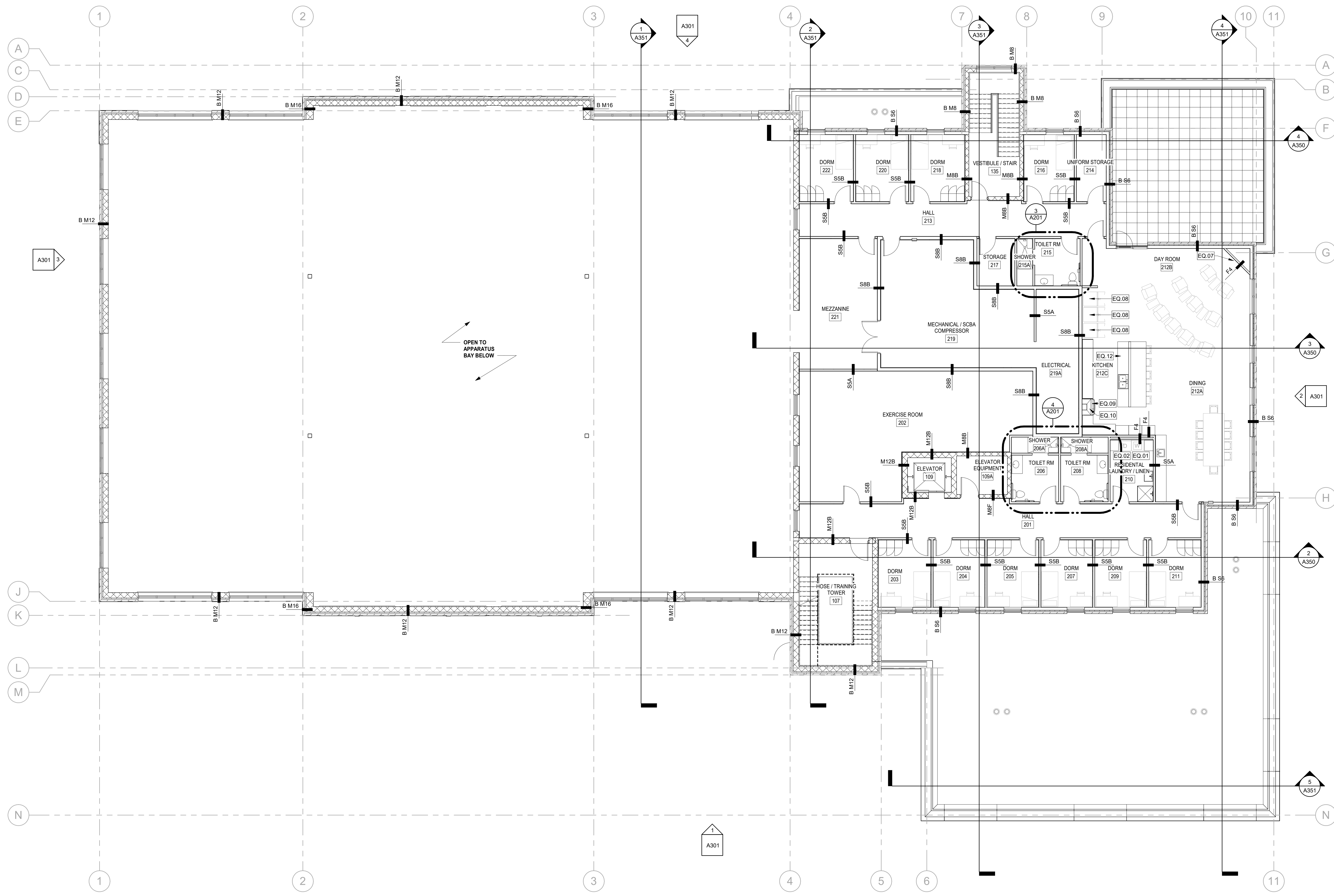
- A. FIRE EXTINGUISHERS
 - ⊕ FE = WALL MOUNTED
 - ⊖ FEC = RECESSED IN WALL
 - ⊖ FB = FIRE BLANKET
- B. COORDINATE WITH OWNER BEFORE GYPSUM BOARD INSTALLATION FOR ANY WOOD BLOCKING REQUIRED FOR OWNER PROVIDED EQUIPMENT.
- C. REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF COLUMNS.
- D. SEE SHEET G002 FOR CODE PLAN AND LOCATIONS OF FIRE RATED CONSTRUCTION.
- E. CONSTRUCTION NOTES LISTED ON SHEETS A102, A103 AND 104 ARE TYPICAL TO THOSE SHEETS. SOME NOTES MAY NOT BE REFERENCED ON EACH SHEET.
- F. MOVEMENT JOINTS
 - ↔ = CMU CONTROL JOINT (24'-0" O.C. MAX) REFER TO SPECIFICATIONS.
- G. ALL PARTITIONS, INCLUDING ACOUSTICAL INSULATION (IF REQUIRED), SHALL EXTEND TO ROOF / FLOOR DECK ABOVE, UNLESS NOTED OTHERWISE.

EQUIPMENT KEY NOTES

- EQ.1 RESIDENTIAL WASHING MACHINE. BY OWNER - OWNER INSTALL
- EQ.2 RESIDENTIAL DRYING MACHINE. BY OWNER - OWNER INSTALL
- EQ.3 WASHER / EXTRACTOR. BY OWNER - OWNER INSTALL
- EQ.4 GEAR DRYER. BY OWNER - OWNER INSTALL
- EQ.5 SCBA COMPRESSOR. BY OWNER - OWNER INSTALL
- EQ.6 SCBA FILL STATION. BY OWNER - OWNER INSTALL
- EQ.7 TV. BY OWNER - OWNER INSTALL
- EQ.8 REFRIGERATOR / FREEZER. BY OWNER - OWNER INSTALL
- EQ.9 RANGE. BY OWNER - OWNER INSTALL
- EQ.10 RANGE HOOD. BY CONTRACTOR - CONTRACTOR INSTALL
- EQ.11 MICROWAVE. BY OWNER - OWNER INSTALL
- EQ.12 DISHWASHER. BY OWNER - OWNER INSTALL
- EQ.13 HOSE HOIST. BY CONTRACTOR - CONTRACTOR INSTALL
- EQ.14 UNDER COUNTER REFRIGERATOR. BY OWNER - OWNER INSTALL
- EQ.15 PPE GEAR LOCKERS. BY OWNER - OWNER INSTALL
- EQ.16 COPIER. BY OWNER - OWNER INSTALL
- EQ.17 HOSE CART. BY OWNER - OWNER INSTALL
- EQ.18 VEHICLE EXHAUST. BY OWNER - OWNER INSTALL
- EQ.19 GAS GRILL. BY OWNER - OWNER INSTALL
- EQ.20 GARBAGE / RECYCLING
- EQ.21 SCBA EXTRACTOR. BY OWNER - OWNER INSTALL
- EQ.22 MARKER BOARD. BY OWNER - OWNER INSTALL



2 TOWER PLATFORM PLAN
SCALE: 1/8" = 1'-0"

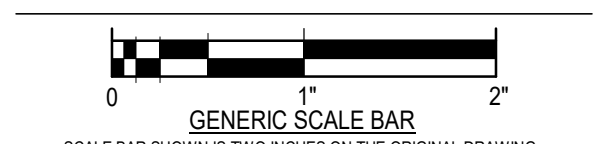


1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

THIS DOCUMENT, AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN, ARE THE PROPERTY OF WENDEL. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WENDEL. ANY SUCH REPRODUCTION OR TRANSMISSION WITHOUT THE WRITTEN PERMISSION OF WENDEL IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO.	REVISIONS	DATE

SECOND FLOOR PLAN



DATE	04.07.2023
SCALE	As indicated
DWN	KDS
CHK	Checker
PROJ. No.	608901
DWG. No.	



204 E. Grand Avenue, Suite 200
Eau Claire, WI 54701
www.wendelcompanies.com
p: 715.832.4648 f: 607.293.6335

Wendel Architecture, P.C.

PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lsey@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
SDI PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5000
matt.haase@sdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
122 SOUTH 214 AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.9995
tom@nce-duluth.com

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

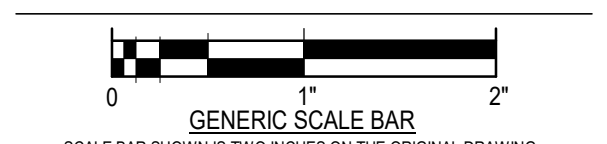
PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN VALEN
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jvaun@wendelcompanies.com

THIS DOCUMENT, AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO.	REVISIONS	DATE

ROOF PLAN



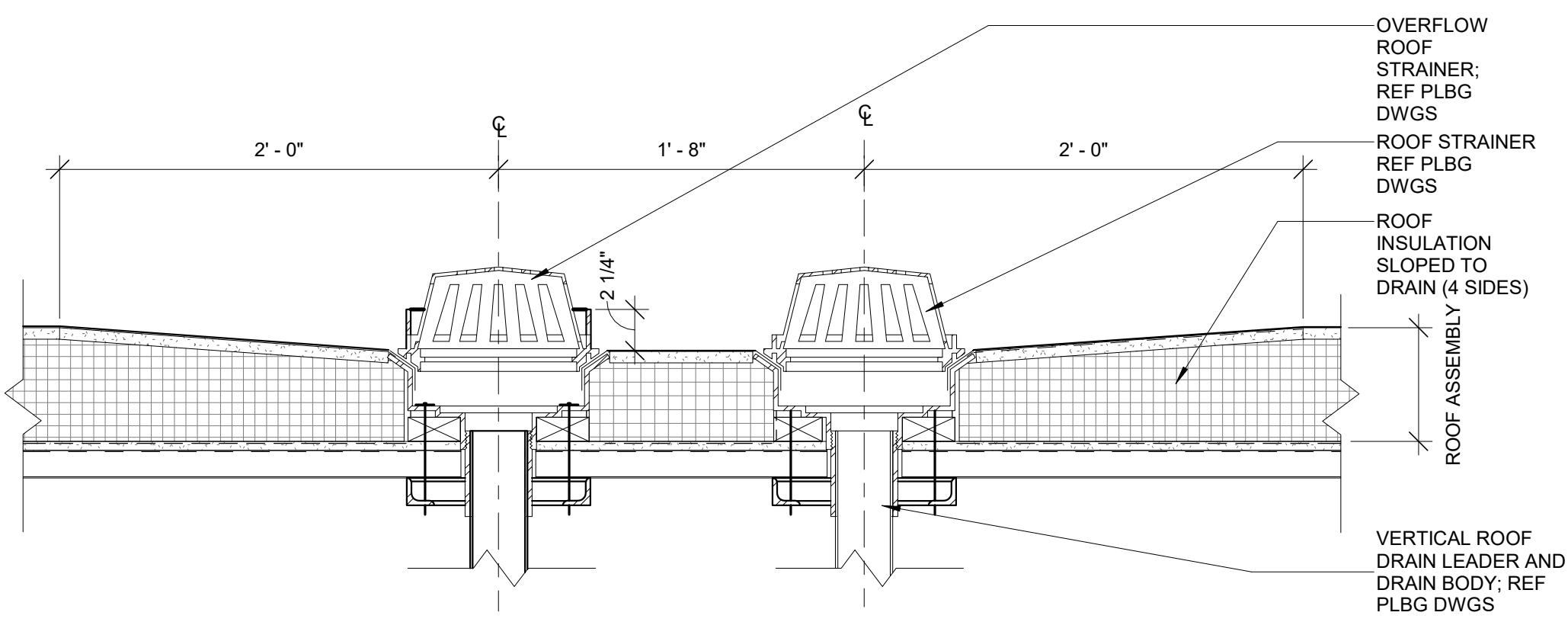
DATE: 04.07.2023
SCALE: As indicated
DWN: Author CHK: Checker
PROJ. No: 608901
DWG. No:

GENERAL ROOF PLAN NOTES

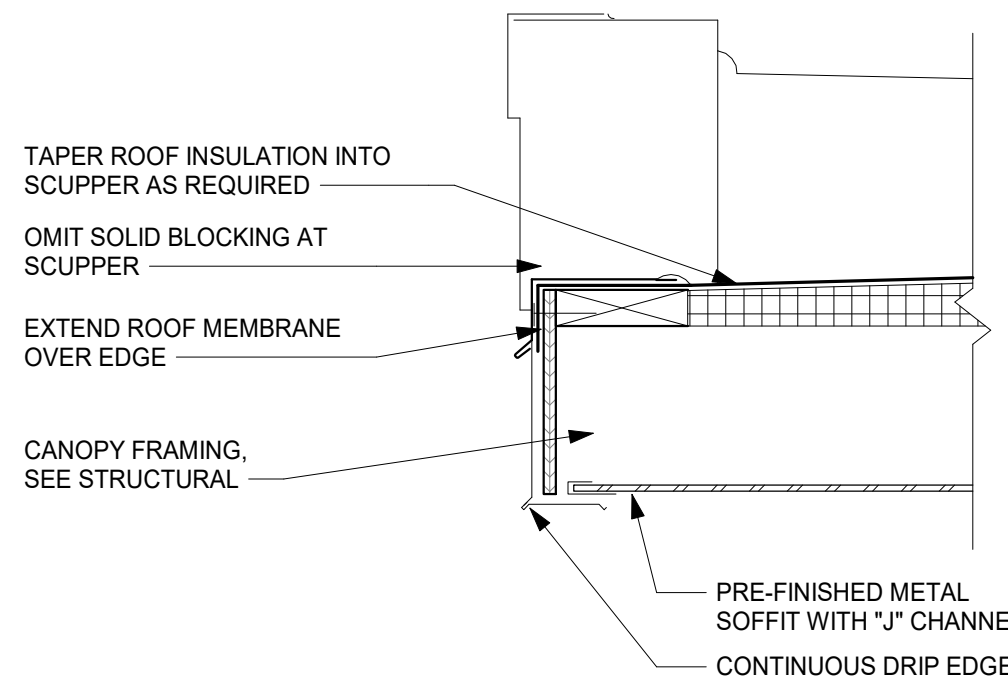
1. VERIFY ALL MECHANICAL AND PLUMBING ROOF PENETRATIONS, SIZES AND LOCATIONS WITH MECHANICAL AND PLUMBING PLAN. COORDINATE AND FLASH ALL OPENINGS THROUGH ROOF SYSTEM. ALL CURBS BY GENERAL CONTRACTOR.

ROOF PLAN KEY NOTES

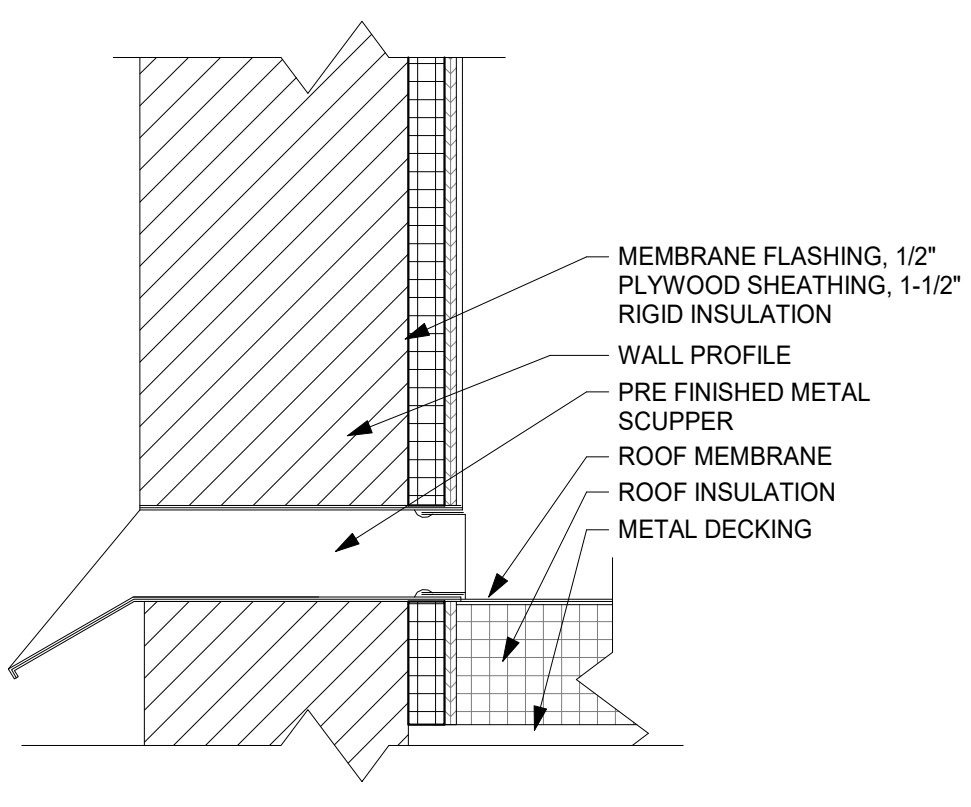
1. ADHERED EPDM ROOF SYSTEM OVER TAPERED INSULATION (R-30 MIN.) MINIMUM SLOPE 1/4" PER 1'-0". ROOF SYSTEM IS OVER METAL DECK AND METAL BAR JOIST.
2. ADHERED EPDM ROOF SYSTEM OVER CONTINUOUS INSULATION (R-30 MIN.) SLOPE INSULATION AT ROOF DRAINS, MINIMUM THICKNESS AT ROOF DRAINS = 2.5". ROOF SYSTEM IS OVER SLOPED METAL DECK AND METAL BAR JOIST.
3. ROOF PAVER SYSTEM. ROOFING CONTRACTOR TO PROVIDE ROOF INSULATION WITH A MINIMUM OF 60 PSI AT THIS LOCATION. SEE SPECIFICATIONS.
4. TYPICAL ROOF DRAIN. SEE DETAIL 2/A150.
5. TYPICAL OVERFLOW ROOF DRAIN.
6. ADHERED EPDM ROOF SYSTEM OVER TAPERED INSULATION (R-30 MIN.) MINIMUM SLOPE 1/4" PER 1'-0". MINIMUM THICKNESS AT ROOF DRAINS = 2.5". ROOF SYSTEM IS OVER PRECAST PLANK ROOF SYSTEM.
7. ADHERED EPDM ROOF SYSTEM OVER CONTINUOUS INSULATION (R-30 MIN.) ADHERE ALL INSULATION TO METAL DECK TO LIMIT EXPOSED FASTENERS THROUGH METAL DECK.
8. ADHERED EPDM ROOF SYSTEM OVER TAPERED INSULATION. MINIMUM SLOPE 1/4" PER 1'-0". MINIMUM THICKNESS AT SCUPPER = 1.5". ROOF SYSTEM IS OVER FLAT METAL DECK AND STRUCTURAL FRAMING.
9. TOP OF WALL SCUPPER.
10. THRU-WALL SCUPPER.
11. GUTTER AND DOWNSPOUTS.



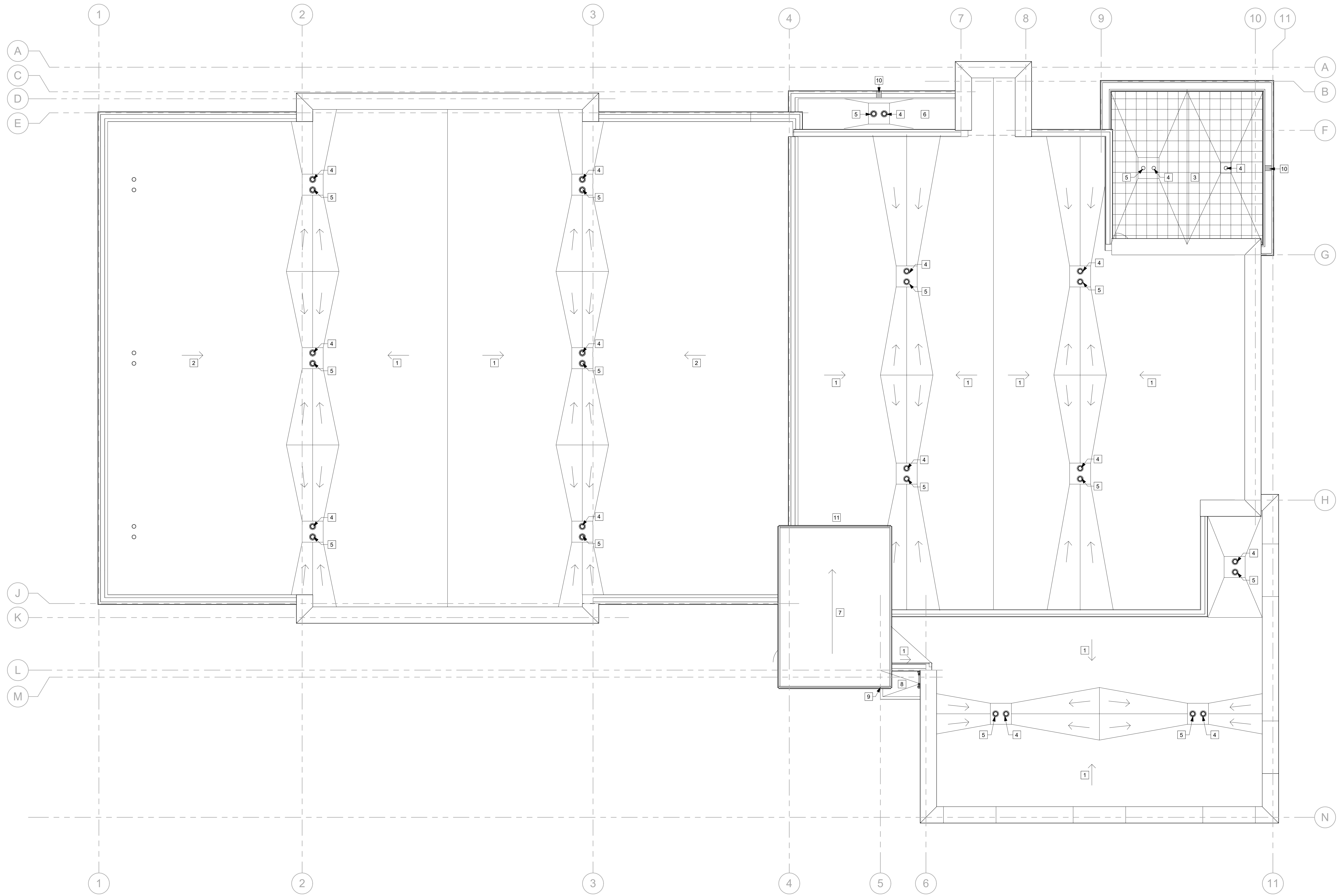
2 ROOF DRAIN DETAIL
SCALE: 1 1/2" = 1'-0"



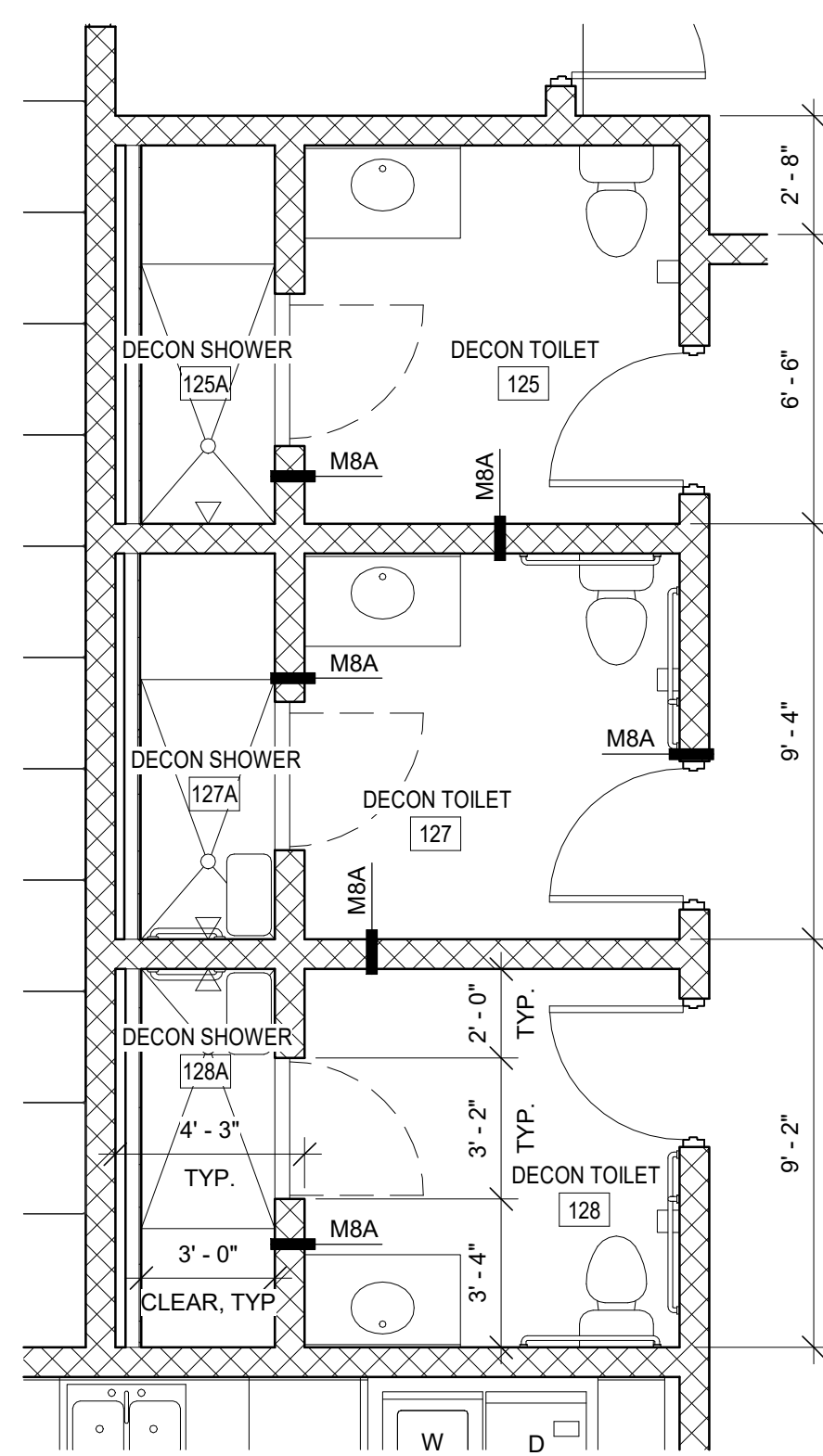
3 TYPICAL SCUPPER DETAIL
SCALE: 1 1/2" = 1'-0"



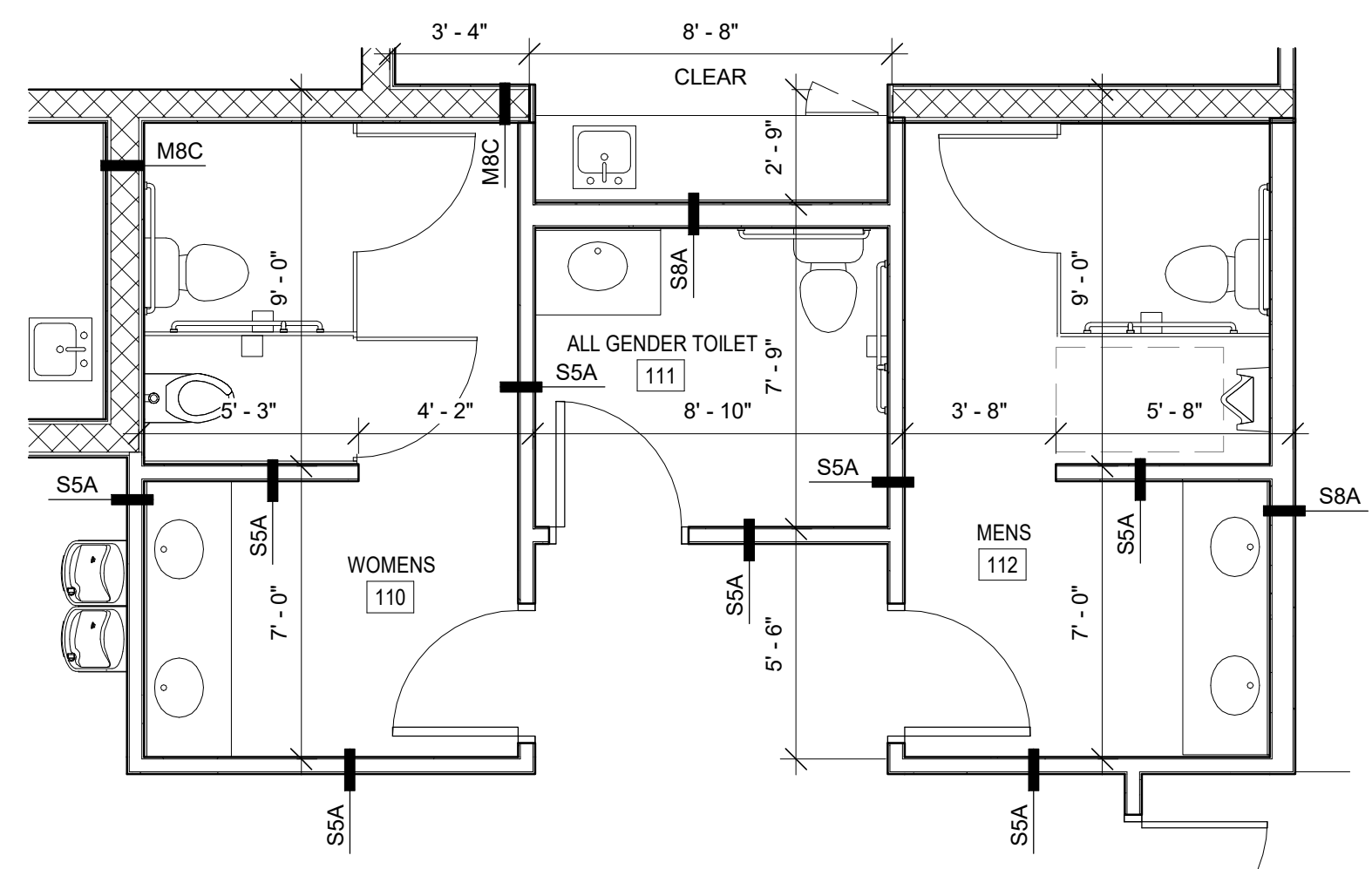
4 THRU-WALL SCUPPER
SCALE: 1 1/2" = 1'-0"



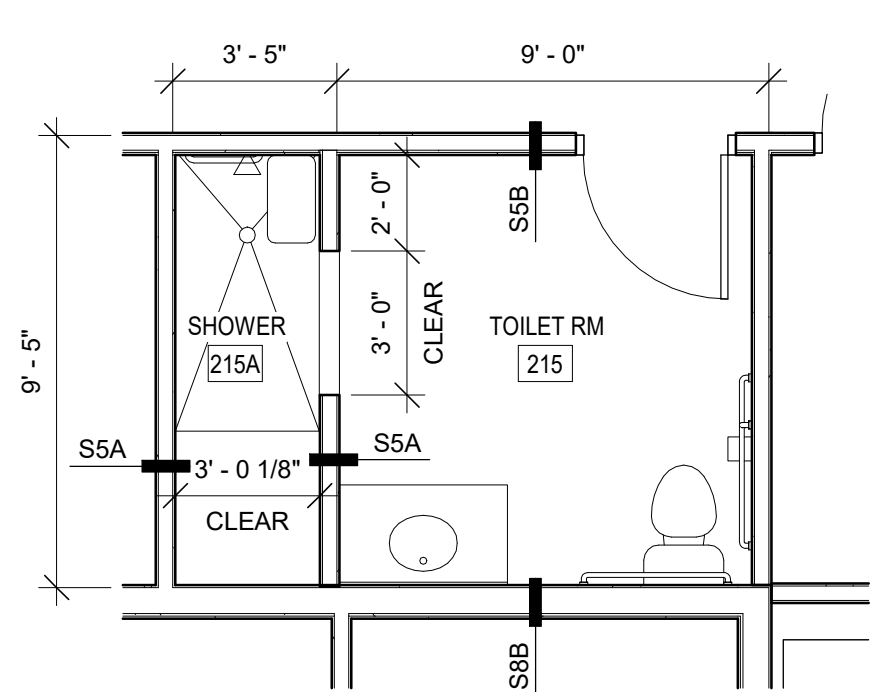
1 ROOF PLAN
SCALE: 1/8" = 1'-0"



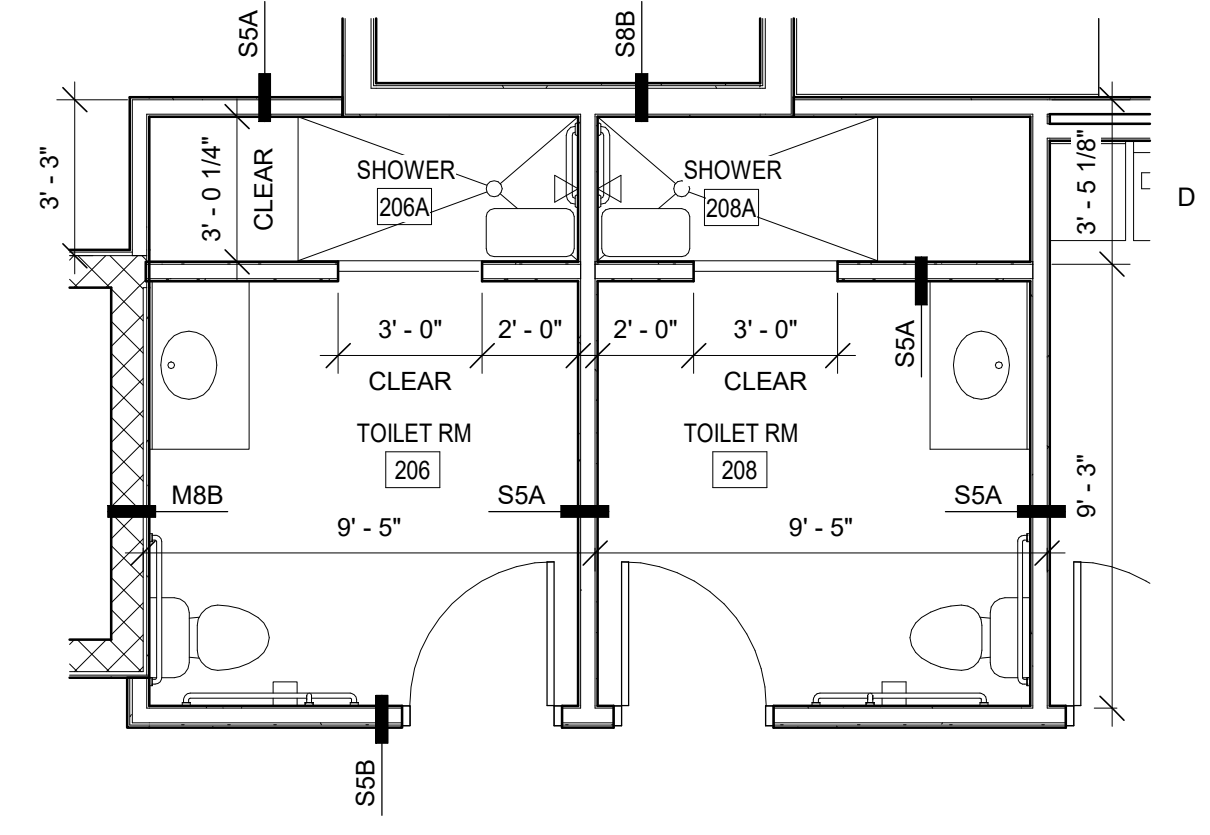
1 FIRST LEVEL DECON TOILET / SHOWER
SCALE: 1/4" = 1'-0"



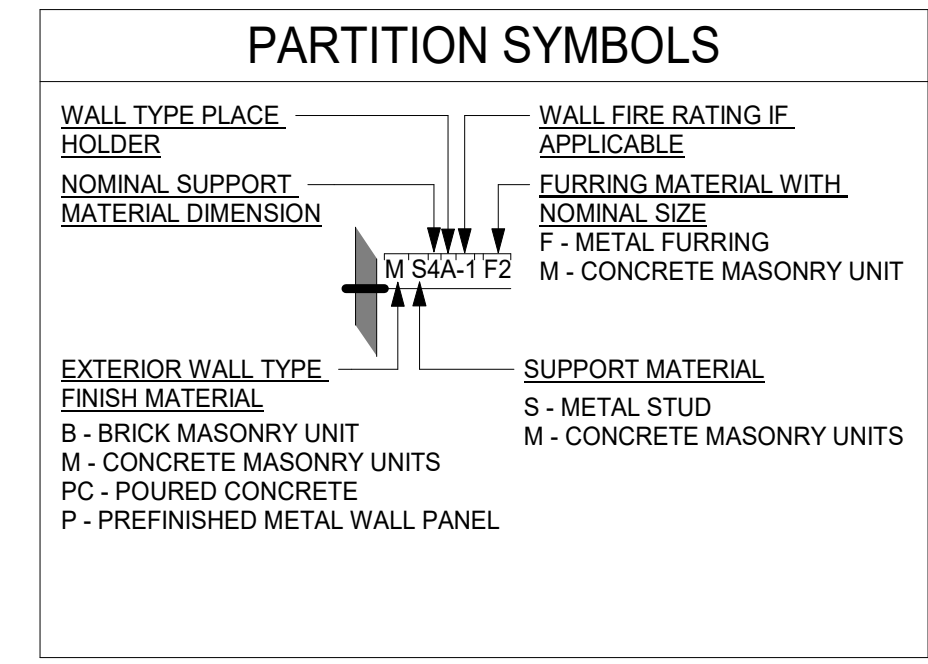
2 FIRST LEVEL PUBLIC RESTROOMS
SCALE: 1/4" = 1'-0"



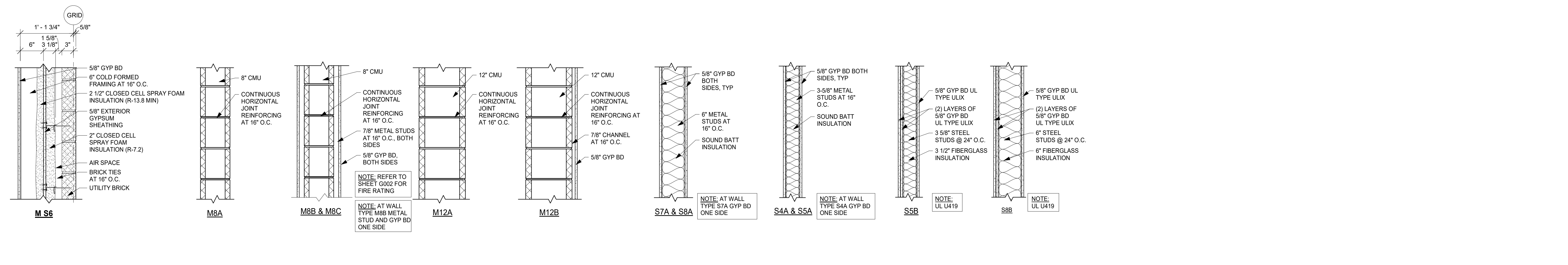
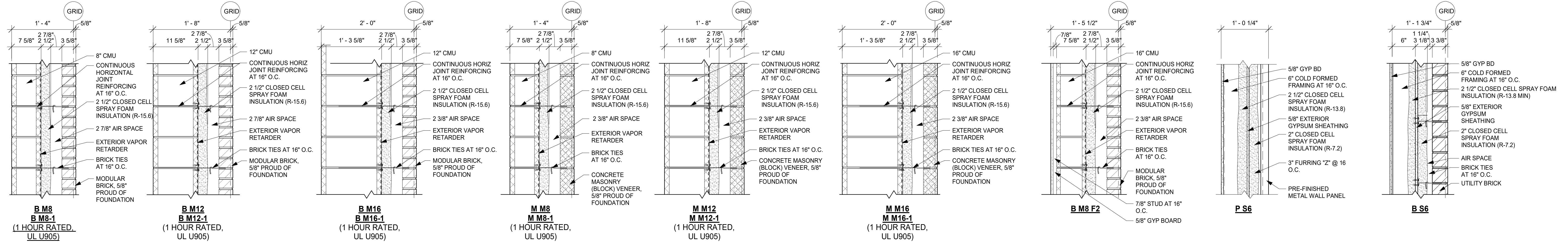
3 SECOND LEVEL SHOWER
SCALE: 1/4" = 1'-0"



4 SECOND LEVEL SHOWER
SCALE: 1/4" = 1'-0"



WALL & PARTITION TYPES



NOTES:
THIS DOCUMENT AND THE IDEAS INCORPORATED HEREIN ARE THE PROPERTY OF WENDEL ARCHITECTURE, P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF WENDEL ARCHITECTURE, P.C. ANY VIOLATION OF THESE TERMS SHALL BE PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO.	REVISIONS	DATE

ENLARGED PLANS



DATE: 04.07.2023
SCALE: As indicated
DWN: KDS CHK: LAE
PROJ. No: 608901
DWG. No:

5 WALL TYPES
SCALE: 1" = 1'-0"



204 E. Grand Avenue, Suite 200
Eau Claire, WI 54701
www.wendelcompanies.com
p: 715.832.4648 f: 607.293.6335

Wendel Architecture, P.C.

PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYNSOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lseynsog@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5000
matt.hase@jpdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 214 AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.9999
tom@ncc-duluth.com

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN VALEN
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jvaun@wendelcompanies.com

NOTES
THIS DOCUMENT, AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN, ARE THE PROPERTY OF WENDEL ARCHITECTURE, P.C. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF WENDEL ARCHITECTURE, P.C. ANY SUCH REPRODUCTION, COPIING, OR TRANSMISSION IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO.	REVISIONS	DATE

ELEVATIONS

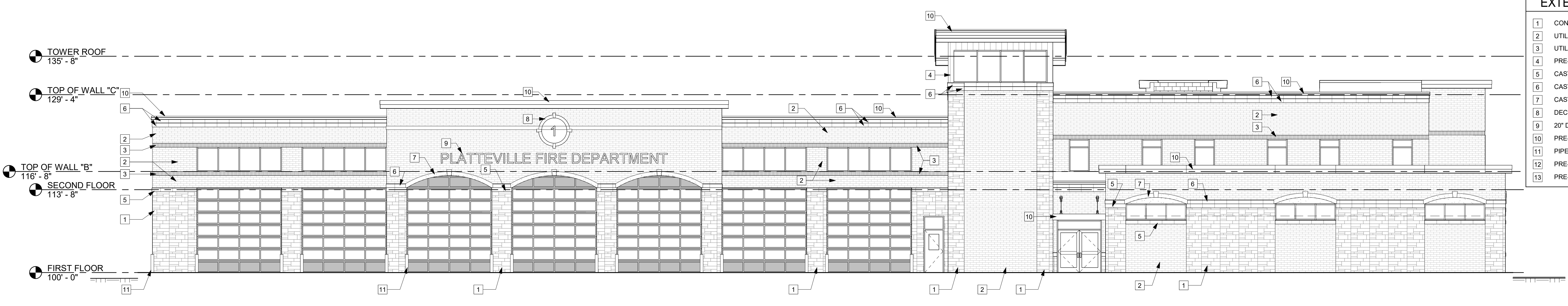


SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY.

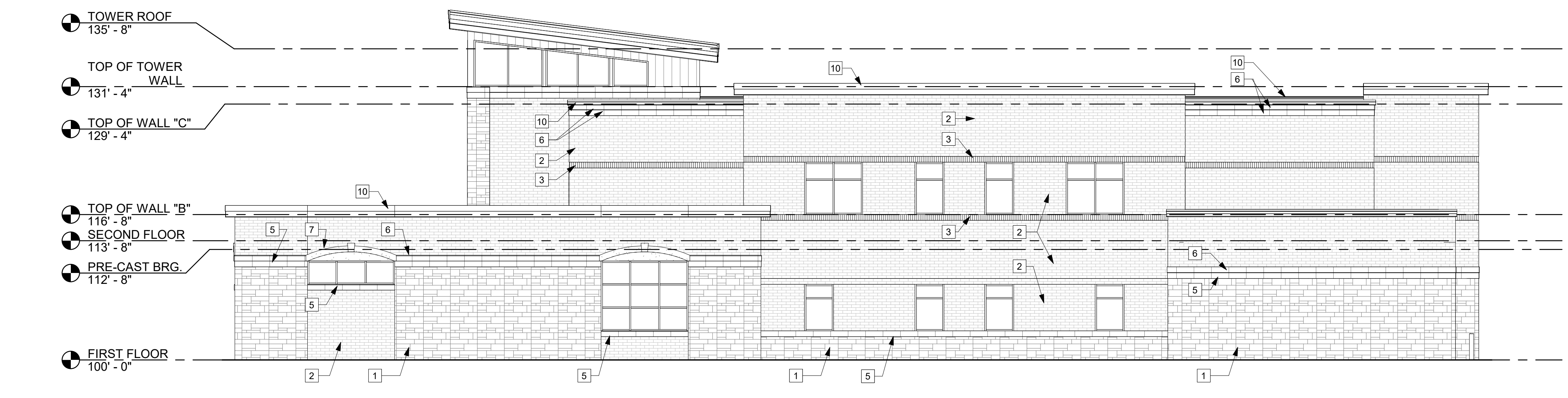
DATE: 04.07.2023
SCALE: As indicated
DWN: Author CHK: Checker
PROJ. No: 608901
DWG. No:

EXTERIOR ELEVATION KEY NOTES

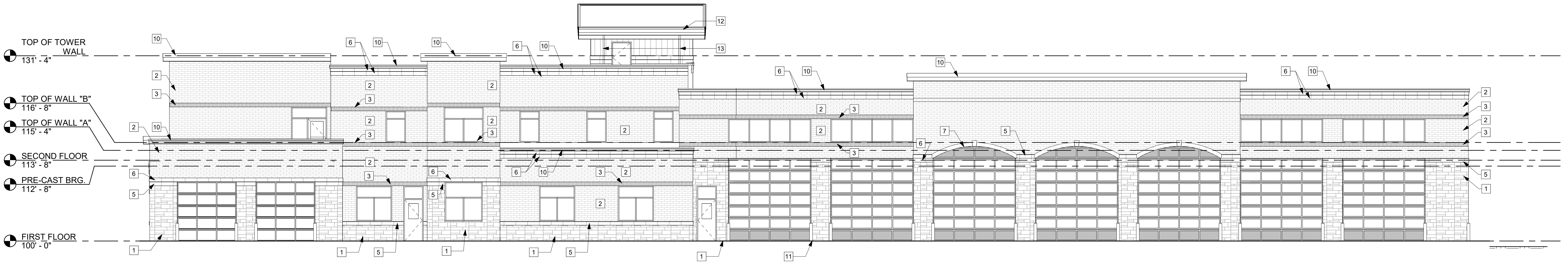
- 1 CONCRETE MASONRY VENEER.
- 2 UTILITY BRICK
- 3 PRE-FINISHED METAL WALL PANEL.
- 4 PRE-FINISHED METAL WALL PANEL.
- 5 CAST STONE UNIT No. 1.
- 6 CAST STONE UNIT No. 2.
- 7 CAST STONE UNIT No. 3.
- 8 DECORATIVE CAST STONE EMBLEM.
- 9 20" DIMENSIONAL LETTERS.
- 10 PRE-FINISHED METAL COPING.
- 11 PIPE BOLLARD WITH PLASTIC COVER.
- 12 PRE-FINISHED METAL GUTTER.
- 13 PRE-FINISHED METAL DOWNSPOUT.



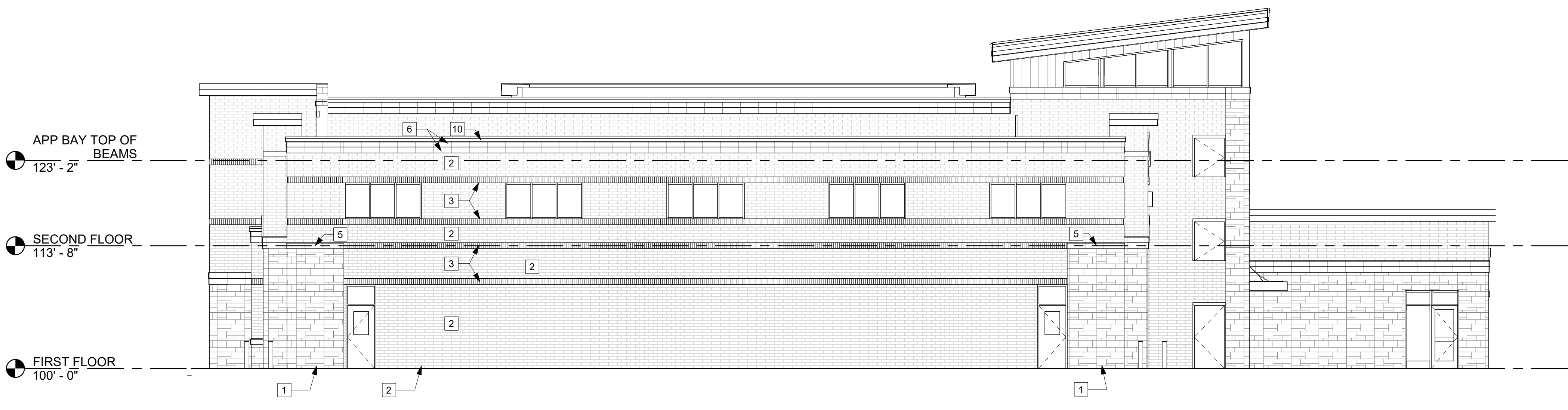
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



① Front Bay Iso
SCALE:



② Front Training Room Iso
SCALE:



③ Back Bay Iso
SCALE:



④ Back Support Bay Iso
SCALE:

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN - 04.07.2023

PLATTEVILLE, WI 53818

PROJECT NUMBER: 608901

PROJECT TEAM

ARCHITECT

WENDEL
LAURA EYNSOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
lseynsog@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER

JDJ PROFESSIONAL SERVICES, INC.
MATT HASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5000
matt.hase@jdnrc.com

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
120 SOUTH 214 AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.9999
tom@nce-duluth.com

MECHANICAL

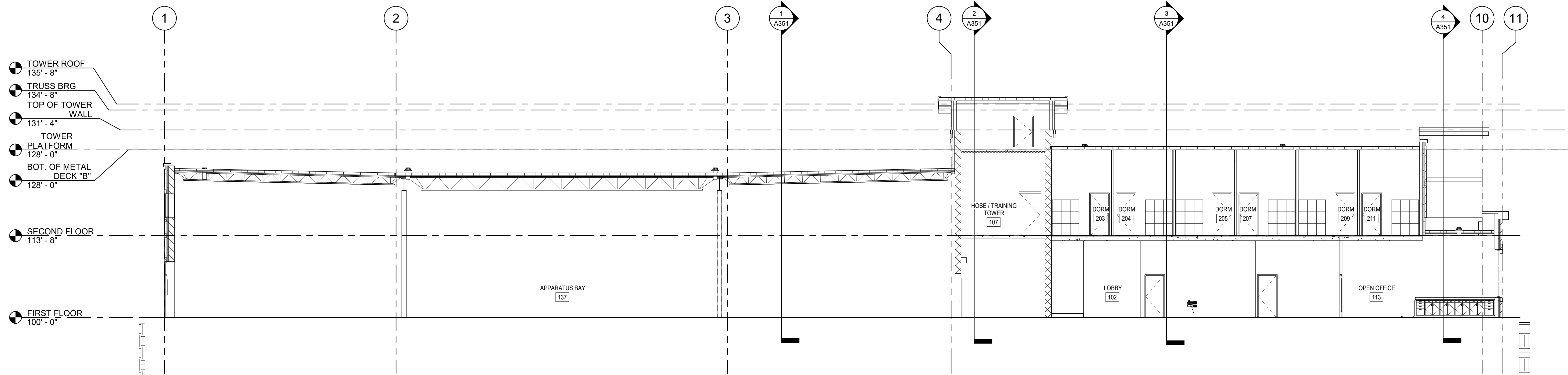
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION

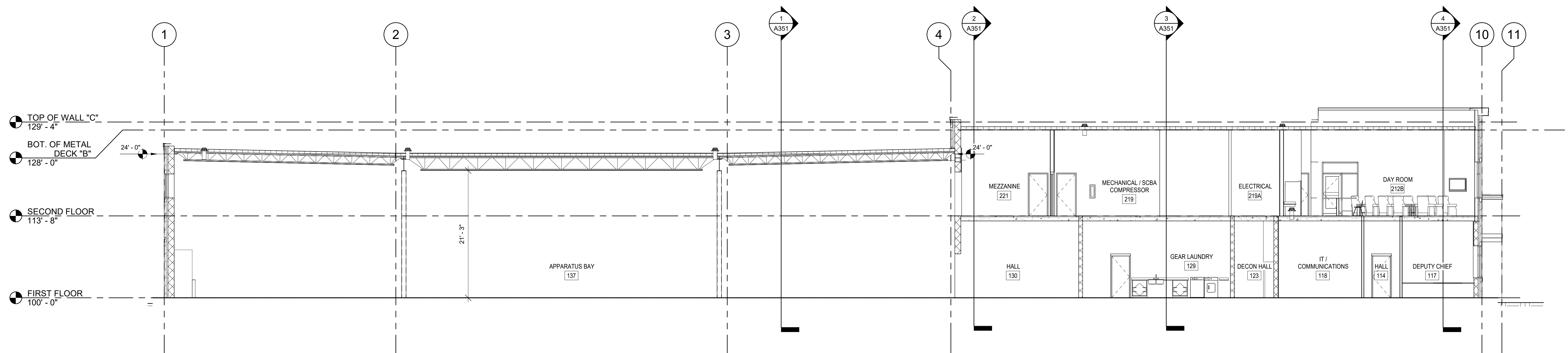
WENDEL
NATHANIEL NIVER
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL

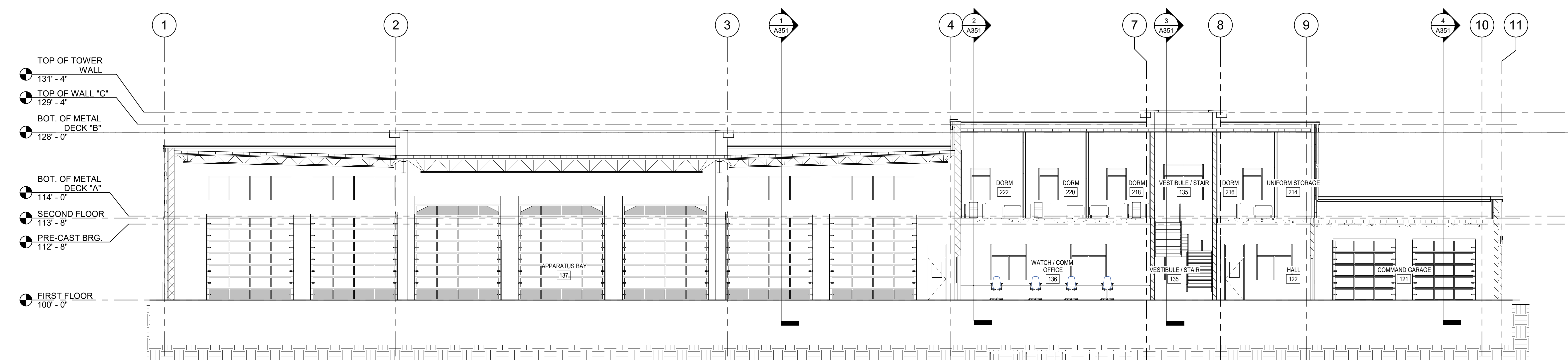
WENDEL
JOHN JAVEN
375 ESSAY ROAD, SUITE 200
WILLAMSVILLE, NY 14221
877.293.6335
jyaven@wendelcompanies.com



2 BUILDING SECTION
SCALE: 1/8" = 1'-0"



3 BUILDING SECTION
SCALE: 1/8" = 1'-0"



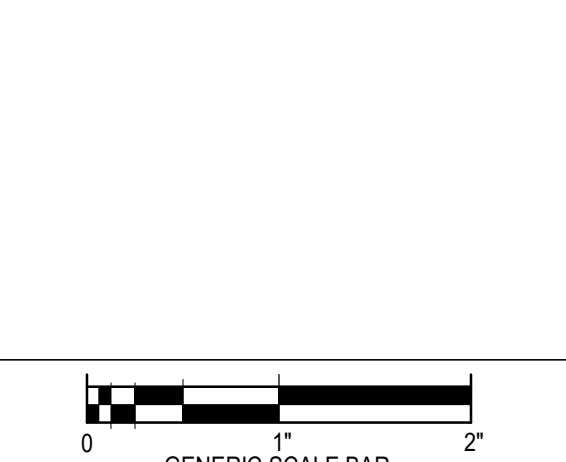
4 BUILDING SECTION
SCALE: 1/8" = 1'-0"

NOTE:
THIS DOCUMENT AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN ARE AN INSTRUMENT OF PROFESSIONAL SERVICE. IT IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

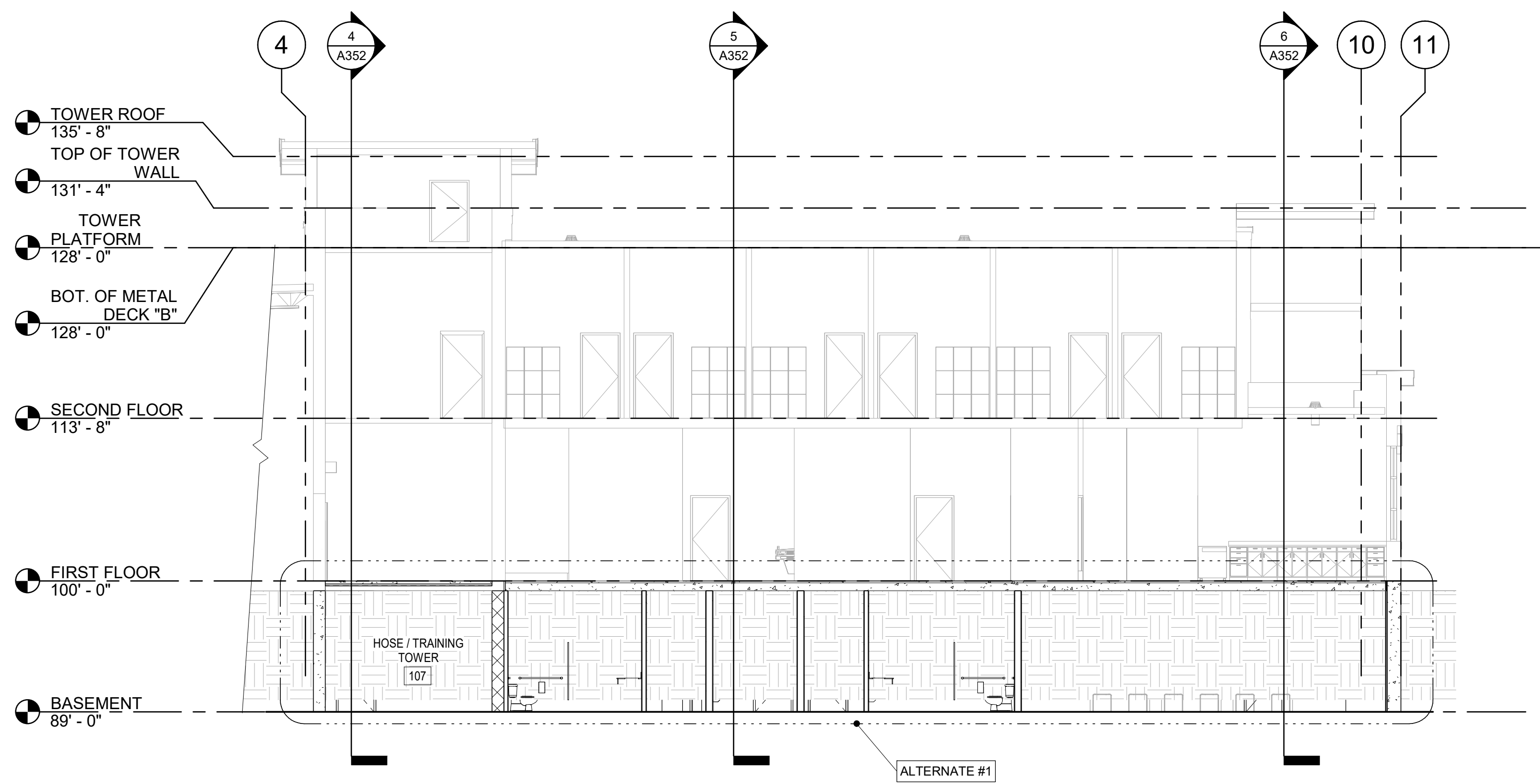
NO.	REVISIONS	DATE

DWG. TITLE

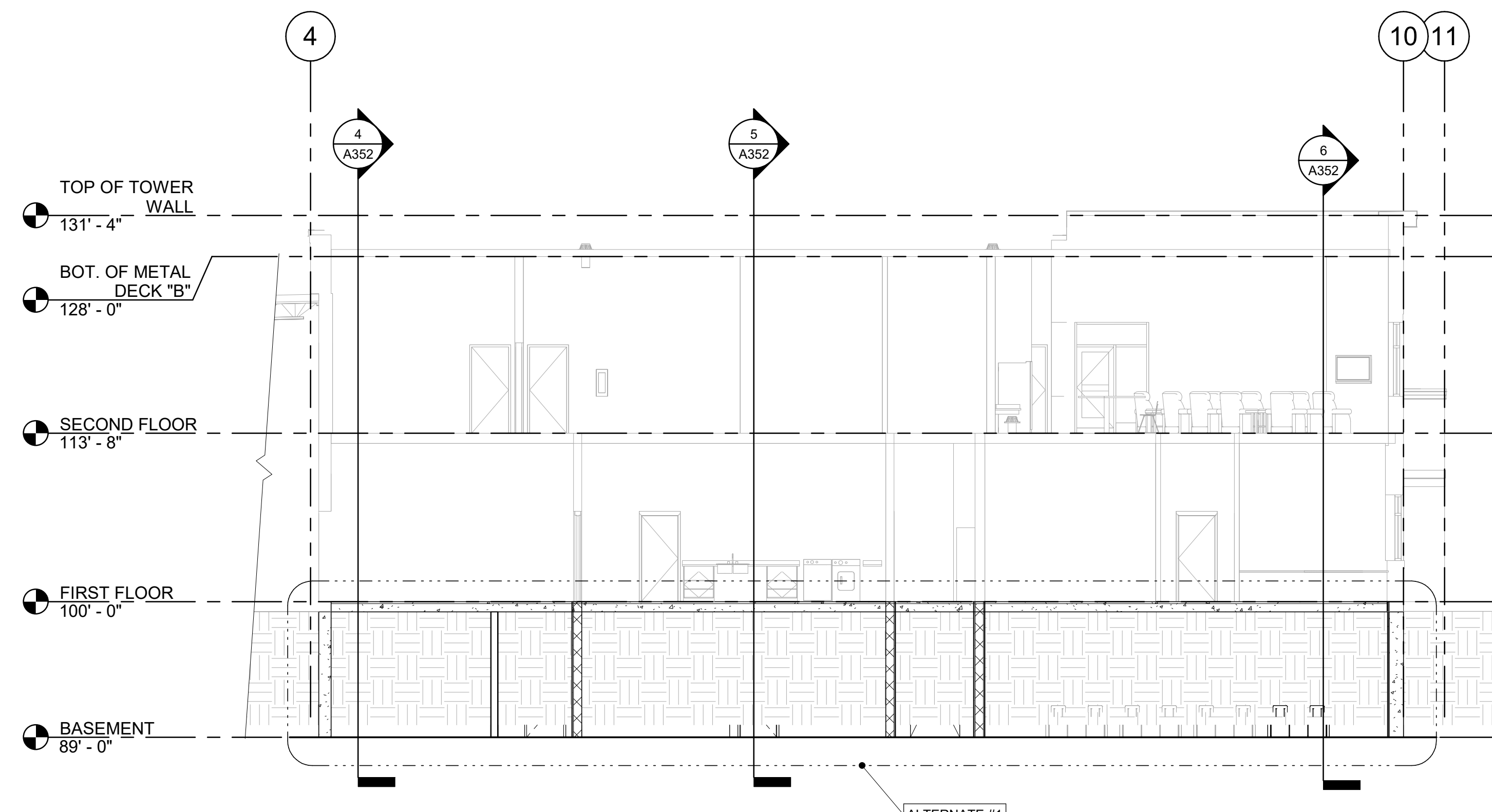
BUILDING SECTIONS



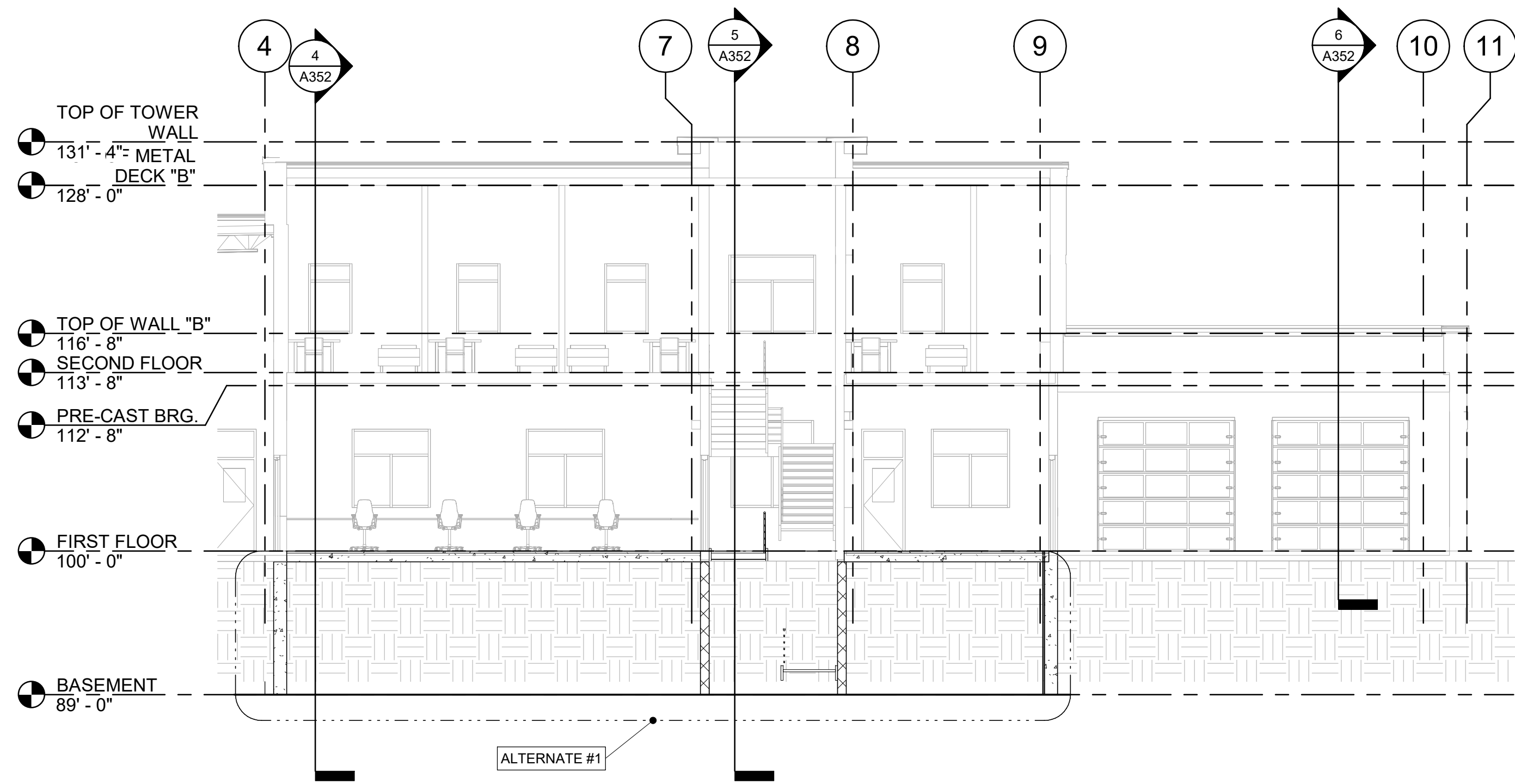
DATE: 04.07.2023
SCALE: 1/8" = 1'-0"
DWN: Author CHK: Checker
PROJ. No: 608901
DWG. No:



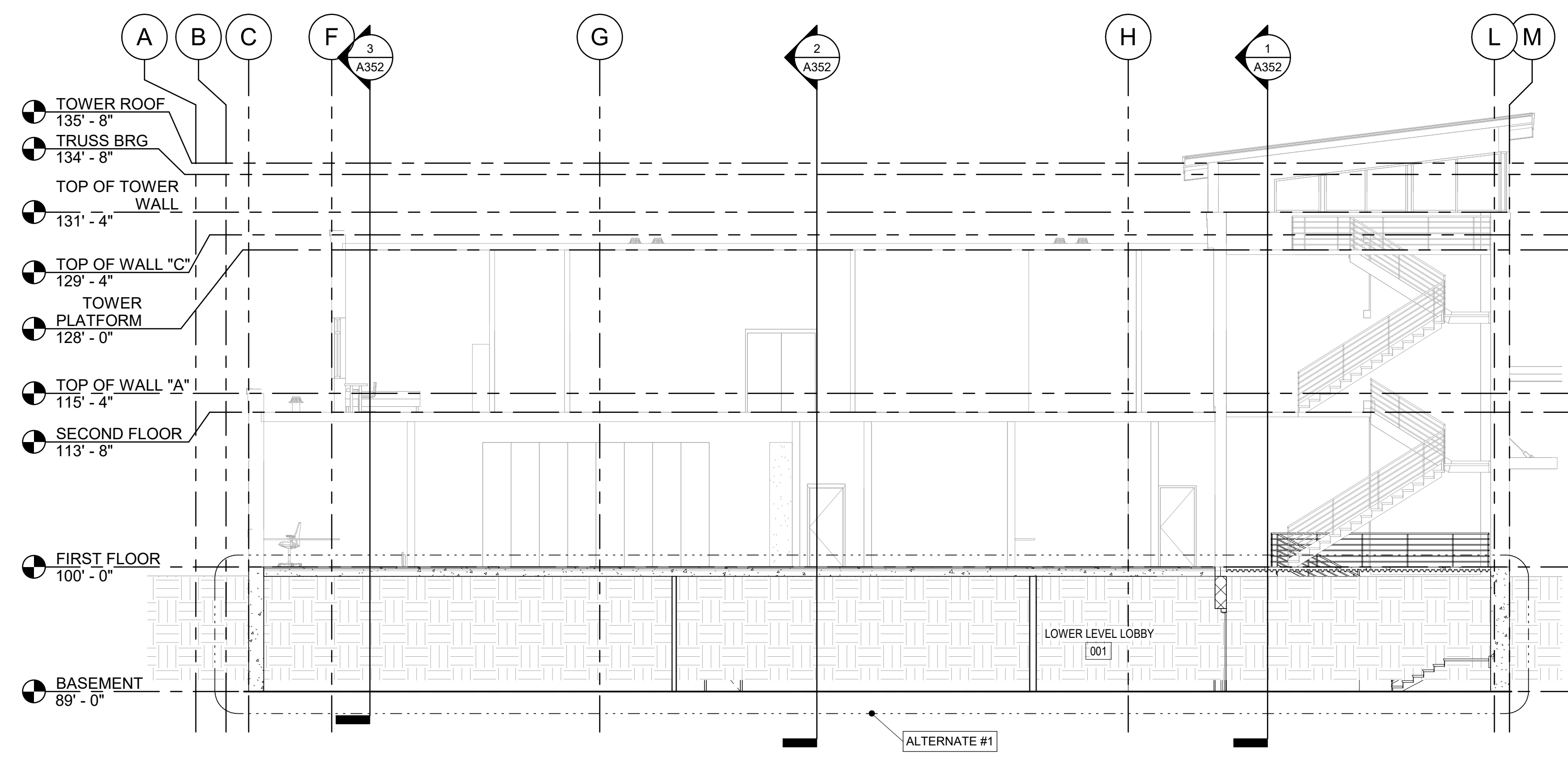
1 ALTERNATE BUILDING SECTION
SCALE: 1/8" = 1'-0"



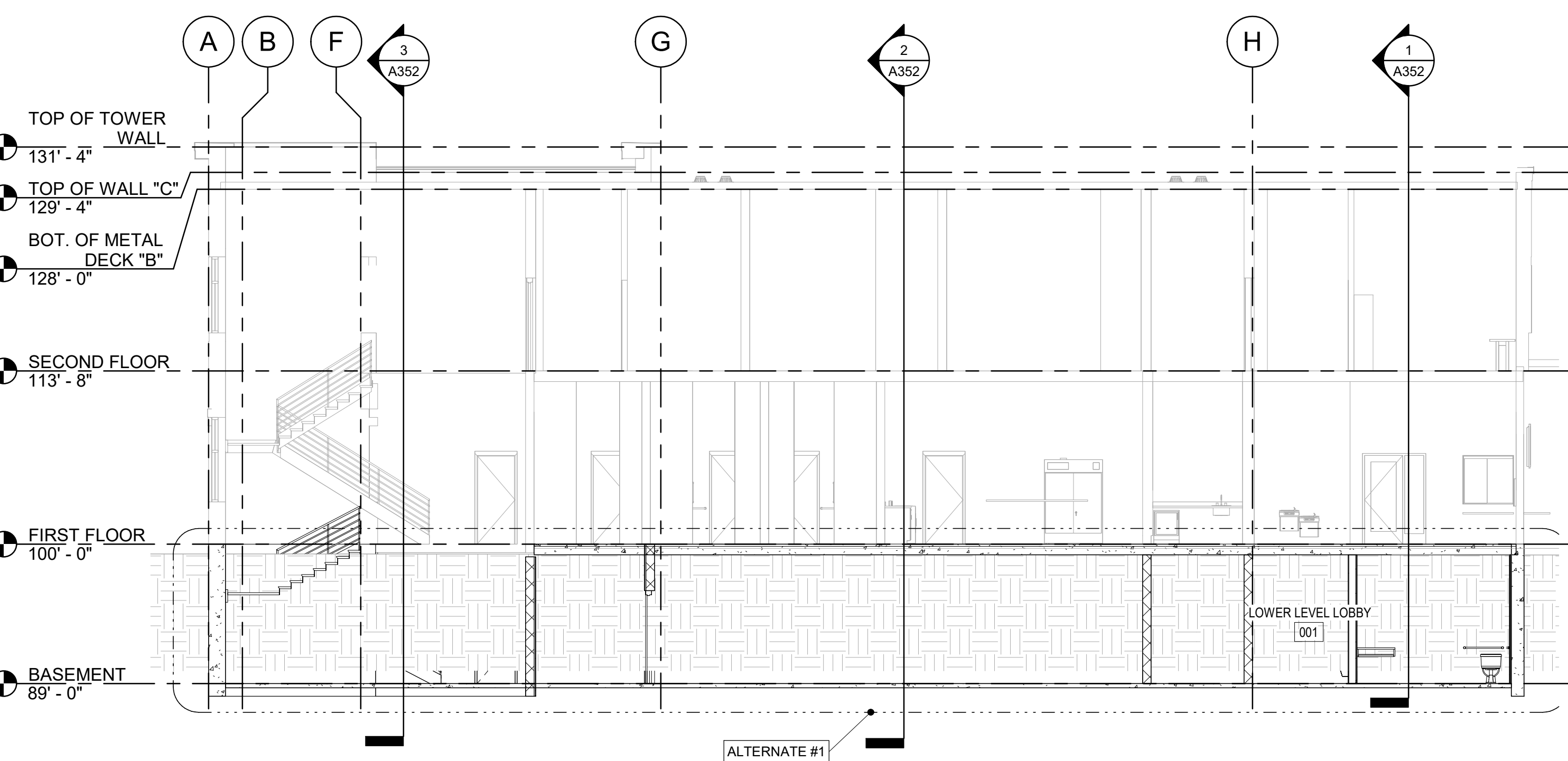
2 ALTERNATE BUILDING SECTION
SCALE: 1/8" = 1'-0"



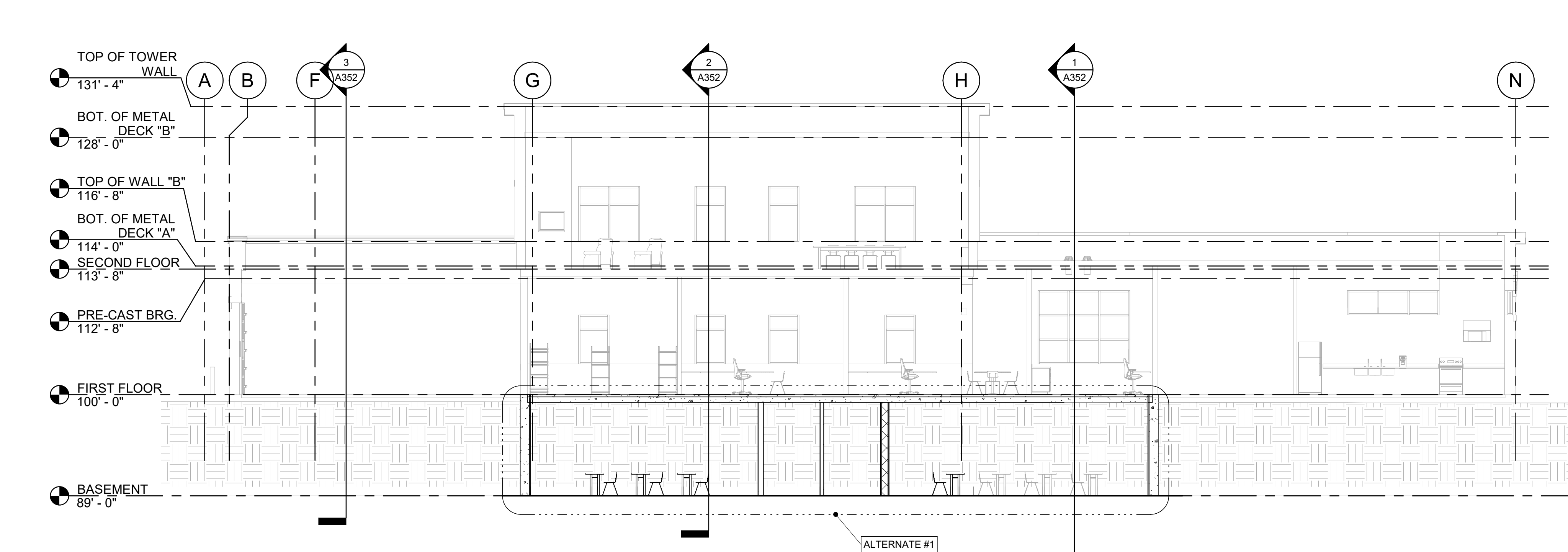
3 ALTERNATE BUILDING SECTION
SCALE: 1/8" = 1'-0"



4 ALTERNATE BUILDING SECTION
SCALE: 1/8" = 1'-0"



5 BUILDING SECTION
SCALE: 1/8" = 1'-0"

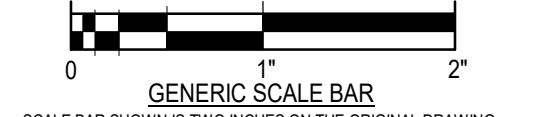


6 BUILDING SECTION
SCALE: 1/8" = 1'-0"

NOTES
THIS DOCUMENT, AND THE IDEAS AND CONCEPTS INCORPORATED HEREIN, ARE THE PROPERTY OF WENDEL ARCHITECTURE, P.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WENDEL ARCHITECTURE, P.C. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY, DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO.	REVISIONS	DATE

ALTERNATE BASEMENT BUILDING SECTIONS



DATE: 04.07.2023
SCALE: 1/8" = 1'-0"
DWN: Author CHK: Checker
PROJ. No: 608901
DWG. No:

Opinion of Probable Construction Cost



Platteville, Wisconsin

Schematic Construction Costs Summary:

Site Development	\$ 1,525,000
General Construction	\$ 7,775,000
Plumbing	\$ 650,000
Fire Protection	\$ 120,000
HVAC	\$ 1,100,000
Electrical	\$ 1,100,000
Misc. & Equipment	\$ 495,000
Construction Fee	\$ 355,000
Construction Subtotal	<u>\$ 13,120,000</u>
Contingency - 7.50%	<u>\$ 1,000,000</u>
Total Construction Schematic Budget	<u>\$ 14,120,000</u>
FF&E	<u>\$ 350,000</u>
Systems & Networking	<u>\$ 150,000</u>
Design & Engineering	<u>\$ 847,000</u>
Total Project Schematic Budget	<u>\$ 15,467,000</u>

Schematic Budget Options

1. Unfinished Basement: Shell with precast ceiling and structural components only.	<u>\$ 1,470,000</u> *
2. Finished Basement: Basement room build-out and finishes.	<u>\$ 500,000</u> *
3. Finished 2nd floor: Room build-out and finishes.	<u>\$ 875,000</u> *
4. Eliminate Community Room.	<u>\$ (335,000)</u> *
5. Value engineer north side overhead doors.	<u>TBD</u>
6. Decorative flake epoxy coating in apparatus bay.	<u>\$ 105,000</u> *

* Doesn't include additional owner soft costs.

**Platteville Fire Station
Platteville, WI**

Schematic Budget

PROJECT DEVELOPMENT TEAM

City of Platteville
5 Bugles Design
Wendel
Kraemer Brothers

Based on Schematic Drawings
Dated February 28, 2023

First Floor:

Apparatus Bay	12,615	SF
First Floor Services	10,745	SF
Support Garage	1,050	SF
Total Finished Area	24,410	SF

2nd Floor:

2nd Floor	8,705	SF
Total Unfinished Area	8,705	SF

Total Gross Area 33,115 SF

SITE DEVELOPMENT:

Asbestos Testing & Abatement	By PFS
Site Survey and Soil Borings	By PFS
Geotechnical/Compaction Testing	15,000.00
Mass Building Demolition	115,000.00
Layout and Engineering Services	40,000.00
Site Demo, Erosion Control, Grading, Earthwork, Basecourse, Fine Grading, & Seeding Storm Ponds, Site Utilities and Retaining Walls	900,000.00
Concrete Paving	150,000.00
Asphalt Paving	40,000.00
Curb and Gutter	30,000.00
Sidewalks and Misc. Site Concrete	180,000.00
Flagpole and Bike Rack Allow.	20,000.00
Retaining Wall Fencing	35,000.00
Site Lighting	In Electrical
Natural Gas, Electrical, or Data / Phone Services	By PFS
TOTAL SITE DEVELOPMENT	\$ 1,525,000.00

GENERAL CONSTRUCTION:

General Conditions, Supervision, Project Management, Offices & Equipment, Dump Technology, Printing, Mailing & Temp. Office Heat	\$ 880,000.00
Site Barricades, Safety, OSHA Railings, Mockups, Testing & Final Cleaning	150,000.00
Conc. Fdns., Rein. Steel, Excav. & Backfill, Rigid Insulation, Slab-on-Grade, Sealed Concrete, Misc. Interior Concrete Pads	1,340,000.00
Precast Concrete Plank and Topping	265,000.00
Masonry	2,065,000.00
Structural & Misc. Steel	1,020,000.00
Rough Carpentry	185,000.00
Caulking & Firestopping	90,000.00
Roofing & Sheetmetal	430,000.00
Fluid Applied Air Barrier & Sprayfoam Cavity Wall	160,000.00
Spray Fireproofing	None
Metal Siding & Trims	50,000.00
Doors, Frames, Hardware	185,000.00
Sectional Overhead Doors	500,000.00
Aluminum Entrances, Windows and Glazing	150,000.00
Skylights	None
Steel Studs, Drywall & Acoustical Insulation	55,000.00
Carpet, Vinyl, Ceramic Flooring and Shower Tile	115,000.00
Fluid Applied Epoxy Flooring	None
Acoustical Ceilings	35,000.00
Painting	90,000.00
Misc. Items & Specialties	10,000.00
TOTAL GENERAL CONSTRUCTION	\$ 7,775,000.00

MECHANICAL/ELECTRICAL:

Fire Protection	\$ 120,000.00
Plumbing	650,000.00
HVAC	1,100,000.00
Electrical, Fire Alarm, Security Electronics	1,100,000.00
TOTAL MECHANICAL/ELECTRICAL	\$ 2,970,000.00

MISC. & EQUIPMENT:

Finish Carpentry, Casework, Millwork	\$ 130,000.00
Display Case / Historic Gear Showcase Area Allow.	20,000.00
Dedication Plaque, Interior and Exterior Signage Allow.	25,000.00
Kitchen and Laundry Equipment	By PFS
Elevator	100,000.00
Bathroom Partitions and Accessories	15,000.00
Visual Display Boards	By PFS
Window Treatments Allow.	15,000.00
Lockers	By PFS
FF&E and Items Identified as Owner Furnished	By PFS
Builder's Risk Insurance	By PFS
Permit Fees	By PFS
General Liability Insurance	70,000.00
Performance & Payment Bonds	120,000.00
TOTAL MISC. & EQUIPMENT	\$ 495,000.00
CM Fee 2.75%	\$ 355,000.00

CONSTRUCTION SUB-TOTAL \$ 13,120,000.00

CONTINGENCY 7.5% \$ 1,000,000.00

TOTAL CONSTRUCTION SCHEMATIC BUDGET 4/13/2023 \$ 14,120,000.00

PFS FF&E \$ 350,000.00

PFS SYSTEMS & NETWORKING \$ 150,000.00

PFS DESIGN & ENGINEERING 6.0% \$ 847,000.00

TOTAL PROJECT SCHEMATIC BUDGET 4/13/2023 \$ 15,467,000.00

PLATTEVILLE FIRE STATION

SCHEMATIC BUDGET

Schematic Budget Options

Y/N/HOLD

_____ 1.	Unfinished Basement: Shell with precast ceiling and structural Components only.	Add	\$ 1,470,000.00
_____ 2.	Finished Basement: Basement room build-out and finishes.	Add	\$ 500,000.00
_____ 3.	Finished 2 nd Floor: Room build-out and finishes.	Add	\$ 875,000.00
_____ 4.	Eliminate Community Room.	Deduct	\$ <335,000.00>
_____ 5.	Composite filled overhead door panels in lieu of all glass at the North side of the building only. This continues the same designed overhead doors at the command garage.	Deduct	\$ TBD
_____ 6.	Decorative flake epoxy coating in apparatus bay.	Add	\$ 105,000.00

TOTAL CONSTRUCTION SCHEMATIC BUDGET W/ ACCEPTED OPTIONS \$

ESTIMATED ADDITIONAL SOFT COSTS FOR ACCEPTED OPTIONS \$

TOTAL PROJECT SCHEMATIC BUDGET W/ ACCEPTED OPTIONS \$

PLATTEVILLE FIRE STATION

SCHEMATIC BUDGET

Schematic Budget Inclusions

1. AREA DATA:

a. Apparatus Bay	12,615 SF
b. First Floor Services	10,745 SF
c. Support Garage	1,050 SF
d. <u>2nd Floor Mezz. (Unfinished)</u>	<u>8,705 SF</u>
Total Construction Area	33,115 SF

2. ALLOWANCES

a. Flagpole and Bike Rack	\$ 20,000.00
b. Display Case/Historic Gear Showcase Area	\$ 20,000.00
c. Dedication Plaque, Interior and Exterior Signage	\$ 25,000.00
d. <u>Window Treatments</u>	<u>\$ 15,000.00</u>
TOTAL ALLOWANCES	\$ 60,000.00

3. A construction contingency of \$1,000,000.00 is included herein.
4. Unsuitable soils removals and undercuts were assumed at bearing wall footings and pads as recommended by CVT's geotechnical report dated January 17, 2023.
5. Mass demolition of the existing OE Gray school structure and associated site. Assumes the building will be vacated of school furnishings, fixtures, equipment and general contents. Major equipment and construction is assumed to be included within the demolition contract and is assumed to be the property of the successful demolition contractor after a final pre-bid walk-through is completed.
6. Mass excavation, haul-off, and tipping fees for unusable cut clay material based on preliminary site layout "Option No. 1" provided on April 5, 2023.
7. Structural cast-in-place retaining wall and offset footing at east building foundation wall. Modular engineered concrete retaining walls at various areas are included as required by site layout Option No. 1 provided on April 5, 2023.
8. CMU walls at all first floor partitions. We have only included steel stud and drywall partitions for basement and mezzanine level buildouts provided in options.
9. CMU backup walls at currently scheduled load bearing steel stud walls at community room area.
10. Exterior heavy duty paving to consist of 8" slabs with 5#/CY of structural fibers.
11. Interior slab on grade of apparatus bay to consist of 7" slabs with 5#/CY of structural fibers.
12. Interior slab on grade of other interior slabs to consist of 4" slabs with 3#/CY of structural fibers.
13. Apparatus Bay and Support Garage slabs include Dayton Pentra-Hard densifier with Pentra-Hard Guard sealer topcoat.
14. Exterior landscaping package will consist of fully established green spaces. This includes fine grading, seeding, fertilizing, straw mulching, and erosion fabric in steep slope or high-volume drainage areas to establish seeding. Temporary irrigation systems or watering, including water usage is not included.
15. Performance & Payment Bonds.
16. Temporary power, including usage fees until substantial completion of the project is achieved.
17. Temporary heating, including usage fees during construction.
18. Final cleaning services and washing of glass.
19. Assumes design bid packages and construction schedule based on the following:
 - a. August 15, 2023- Raze Existing Structure
 - b. September 15, 2023- Building Foundations Commence
 - c. December 1, 2024- Substantial Completion

PLATTEVILLE FIRE STATION

SCHEMATIC BUDGET

Schematic Cost Exclusions

1. Financing costs.
2. Architectural/engineering fees, or State of Wisconsin approval fees.
3. All-Risk" Builder's Risk Insurance; any deductible to be assumed by building owner.
4. Sales and use tax. We have assumed this is a tax exempt project and will comply with State tax-exempt laws.
5. Site survey and soil borings cost.
6. Undercut and replacement of unsuitable soils on site or within the building pad beyond extents described herein, removal and disposal of any underground storage tanks, debris or contaminated soils encountered during construction.
7. Pre-demolition survey, testing, and report required by DNR in order to pull a demolition permit.
8. Asbestos and lead testing or reports, temporary enclosures, containment or abatement, or handling and disposal of any asbestos or lead and such related costs.
9. Rock excavation, trenching, or blasting of apparent bedrock conditions. We have assumed that all utility trenching or building excavation is within material that can be excavated with an 80,000# tracked excavator.
10. Earth retention systems for base project budget. If the basement is pursued in the final design an earth retention system will be needed along the east elevation.
11. Decorative landscaping including trees, shrubs, plantings, edging, stone/mulch, edging or other enhanced landscape items. Only provide items required by the approved DNR erosion control or permanent grass seeding to establish green spaces.
12. Temporary irrigation systems or watering, including water usage.
13. Monumental site signs or structures.
14. Exterior snowmelt systems.
15. Costs resulting from subsequent plan reviews by Wisconsin DOC, Wisconsin DNR, or local jurisdiction(s) having plan review authority.
16. Cost of utility company or phone company charges for service, connections and fees for Internet, telephone, and fiber optic services.
17. Communications towers or structures to support said technology.
18. 2-way communication systems, repeaters, alerting systems, whistles, strobes, or any other emergency specific systems.
19. Reverse osmosis purified water systems of any kind.
20. Pressure washing or vehicle washing systems.
21. Rooftop mechanical screening for any rooftop units.
22. Exterior sunshades.
23. Utility tapping fees.
24. Electric or gas utility service fees for extensions to new building. Sanitary, water, and storm extensions have been included.
25. Sewer, fire impact fees, or any other special assessments from municipalities or utilities.
26. Flooring moisture mitigation primers or sealers. RH tests will be conducted and any floors that exceed manufacturer's recommendations will need to be sealed at additional costs to the project.
27. Fireplaces.
28. Furnishings or installation of telephone equipment including wiring, all tele/data work, inmate kiosk systems, furniture, fixtures & fixed equipment.
29. Any items noted in equipment key notes as "By Owner or Owner Installed".
30. Interior decorative masonry walls or wall coverings, including tile work or backsplashes. We have assumed some wood treatments and associated trim upgrades at various areas based on preliminary photos provided in e-mail correspondence.
31. Furniture, office equipment, telephone systems, user based computer systems or cabling for same.
32. ABAA Quality Assurance Program inspections, or certifications for air barrier systems. Systems will be installed in accordance with ABAA standards, however inspections and certifications if desired will be the responsibility of others if desired.
33. Third-party commissioning or validation of mechanical or security systems.
34. Lightning protection or special grounding requirements.

PLATTEVILLE FIRE STATION

SCHEMATIC BUDGET

- 35. Wireless distribution antenna systems or emergency responder radio reinforcement systems.
- 36. Any additional costs related to Build America, Buy America (BABA).
- 37. Prevailing Wages.

Project Construction Schedule

Date of Commencement: August 15, 2023

Date of Substantial Completion: December 1, 2024

This proposal is hereby accepted.

By: _____ Date _____
Kraemer Brothers, LLC

By: _____ Date _____
Platteville Fire Station

**THE CITY OF PLATTEVILLE, WISCONSIN
COUNCIL SUMMARY SHEET**

COUNCIL SECTION: INFORMATION & DISCUSSION ITEM NUMBER: VIII.C.	TITLE: CWF Loan 4419-11 Upgrade Emergency Generator	DATE April 25, 2023 VOTE REQUIRED: Majority
PREPARED BY: Howard B. Crofoot, P.E. Director of Public Works		

Description:

The DNR has approved a Clean Water Fund (CWF) Loan with Principal Forgiveness for the Wastewater Treatment Plant Emergency Generator upgrade. This project will replace a generator that is over 40 years old that is incapable of powering the entire plant, just the critical pumps and minimum processes to meet codes. The new generator will be able to run the entire plant such that during an event like the 2014 tornado, the plant will produce exceptional waste discharge, not just the minimum standards.

The project total includes construction costs, design costs and loan administration costs. There is a breakout of project costs and loan details on the attached sheet including a timeline for executing the loan documents.

DNR uses the CWF to provide low-interest loans to communities to support wastewater system construction and major maintenance. In certain cases, they also provide Principal Forgiveness. In layman terms, it becomes a grant.

The City’s utility financial advisor, Ehlers, has recommended CWF loans as a beneficial approach to funding capital expenditure due to low issuance costs, principal forgiveness (grant funding) and lower than market interest rates.

The City will be required to adopt a Municipal Obligation Resolution. There will be a Financial Assistance Agreement (FAA) between the City and DNR outlining the terms of the loan. At the May 9 meeting, we will have the Municipal Obligation Resolution, the FAA and other bond related documents. If the City follows the terms of the FAA, a large portion of the “loan” will not be paid back – called “principal forgiveness”.

The actual documents will not be available until on or after May 2.

Budget/Fiscal Impact:

The total project cost will be spread out over multiple years due to the long lead time for getting a generator. Based on the contracted bid price, the engineering costs and loan administration costs, the project amount is \$1,954,400. Of that amount, there are ineligible costs that must be solely funded by the Water and Sewer utility of \$54,234. The remaining \$1,900,166 is eligible for CWF loans. This amount is split into a loan amount of \$1,330,116 over 20 years at a composite interest rate of 2.145% and a Principal Forgiveness (grant) amount of \$570,050.

Unlike bonds, CWF loans are non-prepayable. However, the interest rate is significantly lower than market rate.

If approved, the City has an outstanding invoice of over \$170,000 that can be reimbursed as soon as May 24.

Recommendation:

Staff recommends the Common Council adopt Resolution 23-xx, Municipal Obligation Resolution and approve the Bond related documents and Financial Assistance Agreement for Clean Water Fund project 4419-11 and authorize the appropriate officials to sign the documents.

Sample Affirmative Motion:

“Move to adopt Resolution 23-xx, Municipal Obligation Resolution and approve the Bond related documents and Financial Assistance Agreement for Clean Water Fund project 4419-11 and authorize the appropriate officials to sign the documents.”

Attachments:

- CWF Project 4419-11 Schedule
- CWF Project 4419-11 Summary Distribution Sheet

Clean Water Fund Program Project No. 4419-11
City of Platteville
Upgrade Emergency Generator
Financial Assistance Agreement – Closing Schedule

By April 25:

- Department of Natural Resources (DNR) project manager distributes Financial Assistance Agreement (FAA) to Department of Administration (DOA) for review.

By May 2:

- Quarles & Brady LLP distributes draft Municipal Obligation Resolution and other bond documents to the City of Platteville and DOA for review. Project manager mails FAA to municipality.

On May 9:

- Municipality holds properly noticed meeting at which time:
 1. Municipal Obligation Resolution is adopted.
 2. Bond related documents are signed by municipal officials.
 3. DNR FAA (printed single sided) is signed by municipal officials.

NOTE: *Most documents must be signed by Highest Elected Official & Clerk/Secretary and some documents must have municipal seal applied. **Do not sign any Exhibits.***

By May 10: VIA OVERNIGHT DELIVERY:

- 1. Municipality scans FAA signature page and sends via e-mail to Quarles & Brady LLP and Kevin Olson.
 2. Municipality returns signed paper FAA via overnight delivery to Quarles & Brady LLP.
 3. Municipality delivers signed & sealed Resolution & other bond documents via overnight delivery to Quarles & Brady LLP.

By May 22:

- Quarles & Brady LLP sends final signed and sealed bond documents and legal opinion to DOA.

May 24:

- Loan Closing Day. Quarles & Brady LLP contacts municipality and DOA to confirm that closing may proceed, and DOA wire transfers the first disbursement to municipal bank account.

Clean Water Fund Program Project No. 4419-11
City of Platteville
Upgrade Emergency Generator
Financial Assistance Agreement Summary
Distribution Sheet

FINANCIAL ASSISTANCE INFO

Total Project Amount: \$1,954,400

Principal Forgiveness Amount: \$570,050

Net CWFP Loan Amount: \$1,330,116

Internal Funding: \$54,234

Pledge: Water and Sewerage System Revenue

Lien Priority: Senior-Parity

Composite Interest Rate: 2.145%

Loan Term: 20 Years

DOCUMENT INFO

Date of Municipal Obligation Resolution – May 9, 2023

CLOSING INFO

Refinancing: None

Date of Refinancing: N/A

Estimated First Disbursement: \$171,433.50

DISTRIBUTION

Department of Natural Resources

Kevin Olson
Bureau of Community Financial Assistance
101 South Webster Street, 2nd Floor
PO Box 7921
Madison WI 53707-7921
608-234-2238
kevin.olson@wisconsin.gov

Department of Administration

Andrea Ceron
State of Wisconsin DOA Capital Finance Office
101 East Wilson Street, 10th Floor
PO Box 7864
Madison WI 53707-7864
608-267-0374
Andrea.Ceron@wisconsin.gov

Municipality

Barbara Daus
City of Platteville
75 North Bonson Street
Platteville WI 53818-0780
608-348-9741
barbaradaus@platteville.org

Engineering Firm

Matt Castillo
MSA Professional Services, Inc.
1702 Pankratz Street
Madison WI 53704-3133
608-242-7779
MCastillo@msa-ps.com

Municipal Bond Counsel

Rebecca Speckhard
Quarles & Brady LLP
411 East Wisconsin Avenue Suite 2400
Milwaukee WI 53202-4426
414-277-5000
rebecca.speckhard@quarles.com