THE CITY OF PLATTEVILLE, WISCONSIN AMENDED COMMON COUNCIL AGENDA

PUBLIC NOTICE is hereby given that a regular meeting of the Common Council of the City of Platteville shall be held on Tuesday, April 25, 2023 at 6:00 PM in the Council Chambers at 75 North Bonson Street, Platteville, WI.

The following link can be used to view the livestream of the meeting:

https://us02web.zoom.us/j/89465034744

- I. CALL TO ORDER
- II. ROLL CALL
- III. PUBLIC HEARING
 - 1. Staff Presentation
 - 2. Applicant Statement
 - 3. Public Statements in Favor
 - 4. Public Statements Against
- 5. Public Statements in General
- 6. Council Discussion
- 7. Close Public Hearing
- 8. Common Council Action
- A. Ordinance 23-03 Zoning Amendment Remove R-LO overlay district at 1135 Perry Drive [4/11/23]
- B. Resolution 23-06 Conditional Use Permit Animal Shelter/Kennel at 500 E. Business Highway 151 [4/11/23]
- IV. PRESENTATION Annual Library Report
- V. CONSIDERATION OF CONSENT AGENDA The following items may be approved on a single motion and vote due to their routine nature or previous discussion. Please indicate to the Council President if you would prefer separate discussion and action.
 - A. Council Minutes 4/11/23 Regular and 4/18/23 Special
 - B. Payment of Bills
 - C. Appointments to Boards and Commissions
 - D. Licenses
 - Change of Agent- Kwik Trip Inc, Platteville (Edmund J Hill, Agent), for premises at 430 S Water Street (Kwik Trip 795)
 - 2. One-Year and Two-Year Operator License to Sell/Serve Alcohol
 - 3. "Class A" Combination License Lisa Haas, Platteville, WI, for Premises at 130 Market Street (B.S.R. Boutique & Novelties)
 - E. Permits
 - Street Closing Second Street from Main Street to Furnace Street and Mineral Street from Oak Street to Third Street for Annual Southwest Music Festival on Saturday, July 15 from 8:00 AM to Midnight by the Platteville Regional Chamber
 - F. Proclamation 2023 Arbor Day

Posted: 4/21/2023

^{*}Please note - this meeting will be held in-person.

VI. CITIZENS' COMMENTS, OBSERVATIONS and PETITIONS, if any – Please limit comments to no more than five minutes.

VII. REPORTS

- A. Board/Commission/Committee Minutes (Council Representative)
 - 1. Water and Sewer Commission (Daus, Kilian, Nickels) 2/8/23, 3/8/23

VIII. ACTION

A. Resolution 23-07 to Authorize Release of Citations – Donisi Properties [4/11/23]

IX. INFORMATION AND DISCUSSION

- A. DNR Resolution for DNR Trail Grants
 - 1. Resolution 23-xx DNR Trail Grant Phase 1
 - 2. Resolution 23-xx DNR Trail Grant Phase 2
 - 3. Resolution 23-xx DNR Trail Grant Phase 3
- B. Fire Station Discussion [4/20/23]
- C. Resolution CWF Loan 4419-11 Upgrade Emergency Generator

X. ADJOURNMENT

*Please note - this meeting will be held in-person.

Please click the link below to join the webinar to view the livestream:

https://us02web.zoom.us/j/89465034744

or visit zoom.us, select "Join a Meeting" and enter the Webinar ID: 894 6503 4744

Connect by phone:

877 853 5257 (Toll Free) or 888 475 4499 (Toll Free) Webinar ID: 894 6503 4744

If your attendance requires special accommodation, write City Clerk, P.O. Box 780, Platteville, WI 53818 or call (608) 348-9741 Option 6.

Posted: 4/21/2023

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET

COUNCIL SECTION: PUBLIC HEARING

ITEM NUMBER:

TITLE:

Rezoning to Remove Overlay District – 1135 Perry Drive

DATE:
April 25, 2023
VOTE REQUIRED:
¾ of Members voting

PREPARED BY: Joe Carroll, Community Development Director

Description:

III.A.

The property at 1135 Perry Drive contains a single-family house that was recently purchased by the applicant. The applicant is a student at UW-Platteville and lives there with three other students. These residents had issues with their prior rental situation and needed to find an alternative location to live until they graduate in the spring of 2024. This is a temporary living situation for them, and the applicant plans on selling the property after he graduates.

The property is currently zoned R-1 Single Family Residential, and also has an R-LO Limited Occupancy Residential overlay district designation. With this designation, the property can be used as an owner-occupied residence, and as a rental property, but is limited to the number of unrelated individuals that can live on the property. The house can be occupied by any number of individuals that compose a family (as defined by the code), but it would be limited to a maximum of 2 individuals that are unrelated. This means that only 2 of the current occupants are allowed to live there. The applicant was not aware of this restriction when purchasing the property and is requesting to have the RLO overlay district designation removed, which would allow the property to be occupied by a maximum of 4 unrelated individuals, which would be the same as other R-1 properties. This would allow all four of the residents to remain living on the property.

When the R-LO district designation was adopted in 2012, it was based on a petition submitted by residents in the neighborhood. The designation only included the properties where the owner signed the petition and did not include any nearby or adjoining properties where the owner did not sign the petition. For this reason, there are gaps in the designation in various areas, including the adjacent property to the north of the applicant's property.

At the time the overlay district was created, the prevailing sentiment among the members of the Plan Commission and some of the Council was that the City shouldn't be forcing this designation on any property owner that didn't want it. For that reason, they didn't include any properties where the owner didn't sign the petition. Likewise, there was a similar sentiment among some that any owner that didn't want the overlay designation should be able to have it removed.

The neighborhood would prefer that the overlay district designation remain in place. The neighbors have submitted a protest petition related to the rezoning request. The petition has been signed by the owners of more than 20% of the land within 100 feet of the property. This petition requires that the zoning amendment shall not become effective except by the favorable vote of three-fourths of the members of the Common Council voting on the proposed change.

Bud	get/	'Fiscal	l Im	pact:
-----	------	---------	------	-------

None

Recommendation:

The Plan Commission considered this request at the April 3rd meeting and recommended that the R-LO overlay district designation remain, but that the applicant be allowed up to 2 years to achieve compliance.

Staff has no concerns with the request to remove the R-LO designation. Staff also believes that the Plan Commission proposal is a good compromise and would agree with that recommendation.

Sample Affirmative Motion:

"Motion to approve the request to remove the R-LO overlay district designation from the property at 1135 Perry Drive."

Alternative Motion: "Motion to keep the R-LO district designation in place for the property at 1135 Perry Drive but allow the owner up to 2 years to achieve compliance."

Attachments:

- Staff Report
- Location Map
- Overlay Zone Map
- Plan Commission Minutes 10/1/2012
- Petition
- Draft Ordinance

STAFF REPORT

CITY OF PLATTEVILLE





Meeting Dates:

Plan Commission - April 3, 2023

Common Council – April 11, 2023 (Information) Common Council – April 25, 2023 (Action)

Re:

Rezoning to remove overlay district

Case #:

PC23-RZ01-04

Applicant:

Devyn Dahlke

Location:

1135 Perry Drive

Surrounding Uses and Zoning:

Direction	Land Use	Zoning	Comprehensive Plan
Property in Question	Residential	R-1/RLO	Low Density Residential
North	Residential	R-1	Low Density Residential
South	Residential	R-1/RLO	Low Density Residential
East	Residential	R-1/RLO	Low Density Residential
West	Residential	R-1/RLO	Low Density Residential

I. BACKGROUND

1. The property at 1135 Perry Drive contains a single-family house that was recently purchased by the applicant. The applicant is a student at UW-Platteville and lives there with three other students. The property has an overlay district designation that includes a restriction limiting the occupancy to no more than 2 unrelated individuals. The applicant was not aware of this restriction when purchasing the property and is requesting to have the RLO overlay district designation removed.

II. PROJECT DESCRIPTION

2. The property is currently zoned R-1 Single Family Residential, and also has an R-LO Limited Occupancy Residential overlay zoning designation. With this designation, the property can be used as an owner-occupied residence, and as a rental property, but is limited to the number of unrelated individuals that can live there. According to the requirements of the R-LO designation, the house can be occupied by any number of individuals that compose a family (as defined by the code), but it would be limited to a

maximum of 2 individuals that are unrelated. This means that only 2 of the current occupants are allowed to live there.

3. In the R-LO Limited Occupancy Residential Overlay District, the definition of "family" is set forth below:

"Family" shall mean one of the following groups of individuals, but not more than one group at a time:

- (1) Any number of persons, all of whom are related to each other by blood, adoption, marriage, domestic partnership formed under Wis. Stats. 770, or legal guardianship, along with up to one (1) roomer or boarder not so related, living together in one dwelling unit as a single housekeeping entity; or
- (2) Not more than two (2) persons who are not related by blood, adoption, or marriage, living together in one dwelling unit as a single housekeeping entity; or (3) Two (2) unrelated individuals and any children of either or both of them living as a single-housekeeping unit.

For purposes of the definition of family, the term "related" shall mean a spouse, parent, child, stepchild, child of a parent in a domestic partnership, grandparent, grandchild, brother, sister, uncle, aunt, nephew, niece, great-grandparent, and great-grandchild, or a child, grandparent, grandchild, brother, sister, uncle, aunt, nephew, niece, great-grandparent, or great-grandchild of a person in a domestic partnership. The term "related" does not include other, more distant relationships such as cousins.

The definition of family includes up to two (2) guests if the guests live and cook together with the family in a single dwelling unit and do not pay rent or give other consideration for the privilege of staying with the family. The definition of "guest" under this section is defined as a person who stays with a family for a period of less than thirty days within any rolling one-year period and does not utilize the dwelling as a legal address for any purpose.

- 4. The applicant is requesting a change to the property zoning to remove the R-LO overlay zoning designation, which would allow the property to be occupied by a maximum of 4 unrelated individuals.
- 5. In the R-1 District, the definition of family is set forth below:

"Family" shall mean any one of the following groups of individuals, but not more than one group at a time: (a) Any number of persons, all of whom are related to each other by blood, adoption, marriage, legal guardianship, or domestic partnership formed under Wis. Stats. 770, along with up to two (2) roomers or boarders not so related, living together in one dwelling unit as a single housekeeping entity; (b) Not more than four (4) persons who are not related by blood, adoption, or marriage, living together in one dwelling unit as a single housekeeping entity; or (c) Two (2) unrelated individuals and any children of either or both of them living as a single-housekeeping unit. For purposes of the definition of family, the term "related" shall mean a spouse, parent, child, stepchild, child of a parent in a domestic partnership, grandparent, grandchild, brother,

sister, uncle, aunt, nephew, niece, great-grandparent, and greatgrandchild, or a child, grandparent, grandchild, brother, sister, uncle, aunt, nephew, niece, great-grandparent, or great-grandchild of a person in a domestic partnership. The term "related" does not include other, more distant relationships such as cousins. The definition of family includes up to two (2) guests if the guests live and cook together with the family in a single dwelling unit and do not pay rent or give other consideration for the privilege of staying with the family. The definition of "guest" under this section is defined as a person who stays with a family for a period of less than thirty days within any rolling one-year period and does not utilize the dwelling as a legal address for any purpose.

III. STAFF ANALYSIS

- 6. When the R-LO district designation was adopted in 2012, it was based on a petition submitted by residents. The designation only included the properties where the owner signed the petition and did not include any nearby or adjoining properties where the owner did not sign the petition. For this reason, there are gaps in the designation in various areas, including the adjacent property to the north of the applicant's property.
- 7. At the time the overlay district was created, the prevailing sentiment among the members of the Plan Commission and Council was that the City shouldn't be forcing this designation on any property owner that didn't want it. For that reason, they didn't include any properties where the owner didn't sign the petition. Likewise, it was the sentiment that any owner that didn't want the overlay designation could have it removed.

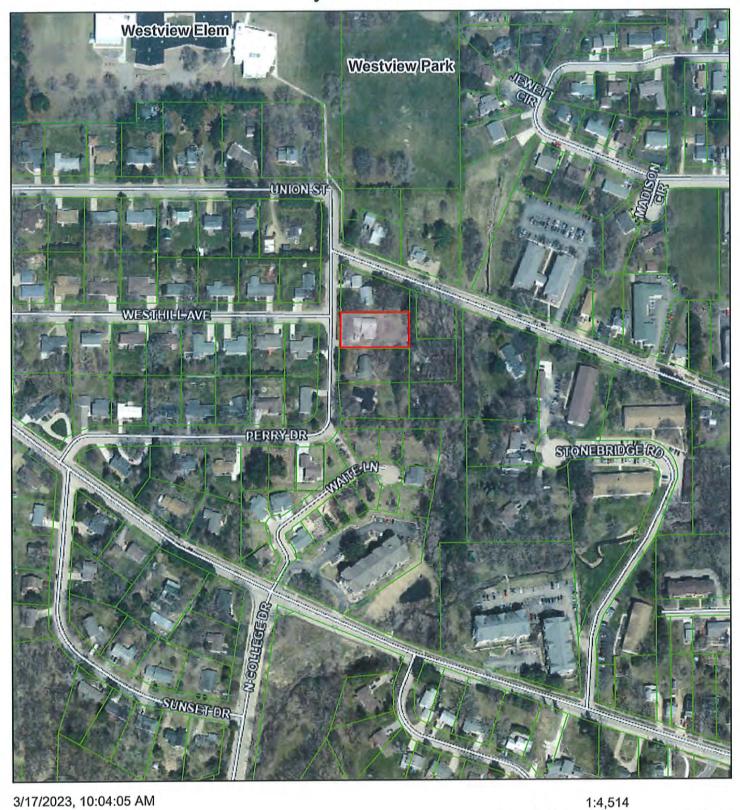
IV. STAFF RECOMMENDATION

8. Staff has no concerns with the request to remove the R-LO designation. This request conforms with the original intent when the overlay district was created.

ATTACHMENTS:

Location Map, Overlay Zone Map, Plan Commission Minutes - October 1, 2012

City of Platteville



0.03

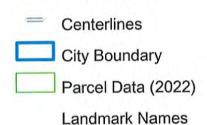
0.04

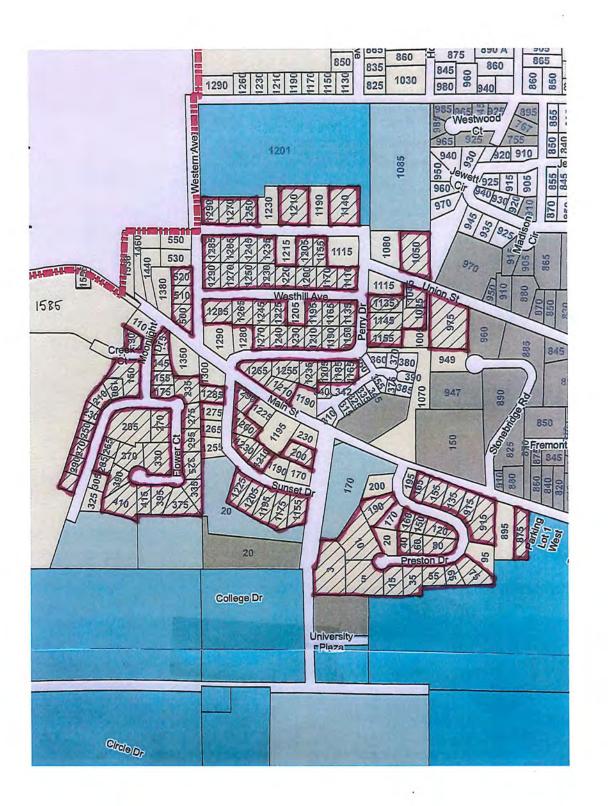
0.06

0.09

0.11 mi

0.18 km





ZONING MAP 2019 Edition Parcel Address Future development **B1 - Neighborhood Business** B2 - Central Business B3 - Highway Business C1 - Conservancy **CBT - Central Business Transition** 11 - Institutional M1 - Heavy Commercial/Light Industrial M2 - Industrial M3 - Industrial M4 - Applied Technology PUD - Planned Unit Development R-LO - Limited Occupancy Residential Overlay R1 - One Family Residential R2 - One & Two Family Residential R3 - Multi-Family Residential MunicipalBoundary

PLAN COMMISSION Monday, October 1, 2012

The regular meeting of the Plan Commission of the City of Platteville was called to order by Chairperson Mike Dalecki at 7:00 p.m. in the Council Chambers of the Municipal Building.

ROLL CALL:

Present: Steve Becker, Chairperson Mike Dalecki, Tom Lindahl, John Miller, Gary Munson, Tom Nelson, and Karen Rogulja. Excused: Keith Buchert and Jane Leighty.

APPROVE MINUTES OF: September 10, 2012

Motion by Lindahl, second by Miller to approve the September 10, 2012 minutes with the corrected motions in A and B. Motion carried on a voice vote.

MOTION:

- A. Rezoning Limited Occupancy Residential Overlay District (RLO) (PC12-RZ02-24) -Consider a request for a Limited Occupancy Overlay District designation for approximately 111 properties in the west Main Street area. Community Planning & Development Director Joe Carroll explained that a petition has been submitted from the owners of 111 properties requesting that the City rezone the properties to the RLO Limited Occupancy Residential Overlay District. All the properties being considered are currently zoned R-1 One-family Residential. The primary impact is that it reduces the maximum number of unrelated individuals that can live in a dwelling unit from 4 to 2. The existing underlying zoning requirements of the R-1 district will remain the same. Staff recommended approval. Plan Commission discussion clarified that properties in the area that chose not to be included in the petition would not be included in the overlay zoning and that the overlay zoning designation would stay with the property unless the owner petitioned to remove the designation. Public statements in favor included Rita Elver of 5 Preston Dr. Sylia Kurowski of 1230 Perry Dr, John Duesbury of 40 Preston Dr, and Gene Weber of 1285 Union St. Evelyn Duesbury of 40 Preston Dr and Judy Kundert of 335 Flower Ct, registered in favor. No public statements against or in general. Motion by Lindahl, second by Munson to approve the proposed rezone of 111 parcels in the west Main Street area to the RLO Limited Occupancy Residential Overlay District as presented. Motion carried 5-1 on a roll call vote with Rogulya voting against.
- B. & C. Rezoning 250 E Main Street (PC12-RZ01-23) Consider approval of a request to rezone the property at 250 E Main Street from B-2 Central Business District to CBT Central Business Transition District and Conditional Use Permit - 250 E Main Street (PC12-CUP05-25) - Consider approval of a request for a Conditional Use Permit to allow a portion of the ground floor space at 250 E Main Street to be used for residential use. Community Planning & Development Director Joe Carroll explained that the property is a combination of commercial and residential space located in the B-2 Central Business District which allows residential use in conjunction with commercial, but not residential use of the ground floor. The building has four residential apartments on the second floor. The first floor and basement of the building are currently vacant and the applicant would like to convert the basement and approximately half of the first floor space to residential use. This action requires the property be rezoned to CBT Central Business Transition and also requires approval of a Conditional Use Permit (CUP). The CBT district allows the proposed residential on the ground floor as a conditional use. The CBT district also has minimum parking requirements depending upon the final number of bedrooms and the area of the commercial space, whereas the current zoning does not. Staff's opinion is that the current location of the property right on Main Street and adjacent to other commercial uses seems to be more compatible with the B-2 district rather than the CBT district. The proposed

I, the undersigned, a property owner adjacent to 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. John Ha	Joshua Grabant	1135 Westhill Are	Platloulle WI	3/27/23
2 guli Pabandt	Julie Grabandt	135 Westhilk Ave	Platteville WI	3/27/23
3. Joseph R. Kratcha	JOE KRATCHA	1110 PERRY DR	FLATTEVILLE, WI	3/27/23
Denois Krotekon	Renae Kratcha	1110 Perry Prive	Hatteville, WI	3/27/23
5.	Siri Jukins	1145 Perry Dei	Platfulle WS	3/27/23
6.	Dallus Gernhardt	1645 Unica St	Plattill CWI	3/27/23
7. Mh//h/	Tom Nickele	1115 Perry Dr.	Mattershe WI	3/27/23
8. January Munnards	Ashly Bernhardt	1046 Union St	Planeniu . M	3/20/23
9.	V			
10.				
Certificate of Circulator I, MARY To Hennessy , certify: I reside at 1195 Westhill Ave Platferille, WE 53818 . I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that				

Signature of Circulator

Date

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING	
1 canada	Tame Ex	1210 Perry 101.	Platteorille WI	4/8/23	
Melody Kappe	Melody Kopp	en 1255 Perry	Dr. Pallerille, u	E4/8/23	
3. Paul & Farra	Paul Farra	1260 Sunset Dr	Platteville, WI	4/8/23	
4. Phillip Hausy	Phillip Hansen	1240 Perry Dr	Platferille, WI	4/10/23	
5. Heather Hansu	Heather Hansen	12to Perry Dr.	Platterille, WI	4/10/23	
6.	Kothleen Leitch	1210 Wain St	Actevillo WI	4/10/28	
7. Dan Ledel	Pan leitch	1210 w Man St-	Platfeville WI	4/10/23	
8.///www.	MATHEN Ellman	1230 SUDSET ST	PLATTEVILLE WI	4/10/23	
9. County I Coler	Courtney	1230 Sunsetor	Platteville WI	4/10/23	
Lost 10 total	Scott whether	1210 SUNDER AV	Platestile, el	4/10/23	
I, Sylva Kurnigh Certificate of Circulator, certify:					
I reside at 1230 Perry Dr. Plette will will listed above. I know that each personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.					
Date applic 11, 2023	Sign	ature of Circulator Ay Lor	a Kuruwsk.		

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Thoun Klaver	Sharon Klavins	1210 Sunset Dr.	Pletkille, Wil	4/10/23
2. E Dar	Elizabeth Gates	1205 Suncet Pr	Platterik ul	4/10123
3. Jay Dyhatro	Jay Dykstra	1195 shuset	Platterille hus	3/10/23
5 en Exighles	Ken Beighley	11555 inset	Platteville, Wi	4/16/23
5. La Denatel Wastert		1285 SUNSET	THATTEVILLE WI	4/10/23
6. Jarly Hastert	Marilyn Hastert	1285 Sweet	Plateville, Wi	4/10/23
7. Kany Kurande	LARRY KOROWSKI	1230 PERRY DA	PLATTEVINE , WI	4/11/23
8. Sylvia Kurowski	Sylvia Kurowski	1230 Perry Dr.	Platteville, WI	4/11/23
9. May Karen Rundell	Mary Karen Runde)	Platterille WI	4/11/23
10. Ruhard & Runsoll	RICHARD F RUNDERS	1 1 1000/2	PROTEVILLE, WI	4/11/23
I, Certificate of Circulator I, Certificate of Circulator I reside at 170 FERM DRIVE, PLATEVILLE, W . I personally circulated this petition and personally obtained each of these signatures on this petition. I/know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.				
Date 4/11/2623	Sign	ature of Circulator Rule	sud & Krunded	

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING	
1. Mandelsen	Gene Webita	\$288 UNVON ST	Platter. le, We	APR 7, 2023	
2. Shan IB Reels	Amanda Weeden	1205 Union St.	Patheille, wi	April 7, 2833	
3. D b Ja	Don Weden	1205 Union St	Platter le jut	Apr:17,23	
4. amy Colley	Amy Coffey	1230 Union St.	Platteville, wi	April 7,202	
5. Jem L. Ellis	Terri Ellis	1245 Union St.	Platteville, W.I	April 7, 2023	
6. Dolne Meio	Debra Meis	1265 Union St	Plateville WI	Apr: 172025	
7. Phase Yours	Angela Kamps	1290 Union St	Platter News	4/7/23	
8. Man botschall	Mark Gottschall	1210 Union St	Platteville WI	4/7/23	
9. Steve Man	STEVE COFFEY	1230 UNKON 57	PLATTEVILLE WI	4/7/23	
10. Josephine Rischel	VOSEPHWEKI SCHER	1250 UNION ST.	PLATTEVILLE, WIT	4/10/23	
Certificate of Circulator Certificate of Circulator certify:					
I reside at 1985 DOLO FRONTE WE . I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that					
falsifying this certification is punishab	le under s. 12.13(3)(a), Stats.		20		
Date 4/11/2023	Sign	nature of Circulator	my Alleg		

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING	
1. pll	John Spohn	155 MOONTH DV	plutteville LeI	4/4/22	
2.0 Sh	Amy Spohn	155 Man Light Dr.	Platfaille WI	4/9/23	
3. Robett A	Pon Server	145 Moon light Des	Platfeith oz	4/9/23	
4. feidi Semo	Heidi Serres	145 Moon Sight	Platteville	4-10-23	
5. Tom Osting	TOM OSTING	150 Moonlight	PLatteville	4-10-23	
6. Vellana Osting	Deborah Ostina	150 Moonlight De	Platteville	4-10-202	
7. John Lours	John Connett	110 Manficht De	flathante.	9/11/23	
Kathleen Connect	KATHLEEN CONNETT	110 Moonlight Dre	Plateville	4/11/23	
Lasterna Line	Larl Lector	1800	Platenthe	4/11/23	
ather Reuneister	Kothy Neumeister	375 Flower	Patterille	4/11/23	
I, Certificate of Circulator , certify:					
I reside at 150 Nhock heaht . I personally circulated this petition and personally obtained each of these					
signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that					
falsifying this certification is punishable			<i>y * * *</i>		
Date 4-11-2023	Sign	ature of Circulator	me Valy		

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Bonnie Vasson	Bonnie Vaassen	1170 Westhill Ave	flatterille W	4/9/23
2. Levey Vesesden	Farry Valuesa	1170 Westhell the	Platteville wi	4-9-13
3. Swight Relson	DWIGHT NELSON	1270 westless ave	Platterello, WI	4/9/23
4. Mune Molson	DIANE NELSON	SZO Western Avz	Platterile, WI	4/9/23
5. Carle G. Rultur		1146 Unim St	Platteville Wi	4/10/23
6. July careater	Judy Calcit	1265 mest Nill	Plateille NI	4/10/23
7. Robert Calcaterra	Robert Calcaterra	1265 Westhill Av	Platteville WI	4/10/23
8. Crica Sigal	ERICA SIEGL	1205 Westhill Ave	Platterille, WI	4110123
9. Jan Hel	Say Gesia	1205 Westhill Ave		4/10/23
10. Mukokwa	Mariko Kurobe	530 Western Ave	Platteville, WI	4110123
I, May Jo Hennessy, certify: I reside at 1/95 West Kill the Plater John In Interest this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that				

Signature of Circulator

I, the undersigned, a property owner in the Overlay District including 1135 Perry Drive, Platteville, WI, protest against the proposed petition requesting the removal of the overlay district and the rezoning amendment for this property that would rezone the property from its current R-1 + R-LO Limited Occupancy Residential Overlay status, according to Wisconsin State Statutes Ch. 62.23 (7) (d) (2m) (a).

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Mary Jo Hennessy	Mary To Hennessy	1195 Westhill Ave	Platteville, WI	4/7/23
Carol Balbach	Carol Balbach	500 Western Ove	Platteville WI	4/7/23
gerry Selleck	JERRY SELLECK	1250 WESTHILL	PLATTEVICLE, WI	4/7/23
Joyce Sellect	Joyce Selleck	1253 Westill Age	Platterille, WI	417/23
5. Jugu F. Wisnewski	Joyce F. Wisnewski		Platteville, WI	4/8/2023
Lachel Culturan	Rachelcultureson	1165 Westhill Ave	Platteville, Wi	4-8-2023
1 La Cullet	Ken Culbertson	1165 Westhill Ave	Platterille, WI	4-8-2023
8. Den Dalla 4	GLEN BALBACH	566 WESTERN AVE	^	4-8-2023
9. Punty Sich	Cindy Fritz	12x5 Westhill aw	Clatterill wx	4/8/2023
10. Jun F	GARY FRIZ	1885 Westrill the	Platterile, WI	48/2023
Certificate of Circulator				
I, Wary To Hennessy, certify:				
I reside at / //S We Sthill Away I personally circulated this petition and personally obtained each of these				
signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that				
falsifying this certification is punishable	ϵ under s. 12.13(3)(a), Stats.	The spective residence	es. 1 intena to support this petition.	I am aware that
4-8-23		Mary to Vennesse		

Date

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Jan Weber	Jan Weber	1285 Union	Plattevelle, WE	4/7/2023
2. Del Ours	Deb Quinn	975 Union	/'	4/10/23
3. 00 Mil	Oprissa Martin	1080 Union	и	4/10/23
4. Brian Wagner	Brian Wagner	1155 Union	Platterille a	14/10/23
5. Tush Ky	Redle Kums	1290 Unson	Platkville	4/10123
6. 472	Steve Youck	1270 Union	Platruille	4/10/23
7. Sono Wagn	Toniallagnor	1155 Union St	Patteville	4/10/23
9.				
10.				
Certificate of Circulator I, Center of Circulator I reside at 1283 On Platfer of Circulator I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats. Date 117773 Signature of Circulator				

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING	
1. Komer Streemlan	Konner Stremlau	530 Western Ave	Platfeville, WI	4/10/23	
2. Parls W. Hulmen	Dorls Withing	9505 Wathill Ave	Pletteiple, Wif	4/b/23	
3. Kelly Johled Keld	Kelly Jo Hadfreid	1230 Westhill Ave	Platfeville WI	4/11/23	
4.					
5.					
6.					
7.					
8.					
9.					
10.					
Certificate of Circulator					
I, Many Jo Hennessy, certify: I reside at 1155 Nosthill And Platterile WI. I personally circulated this petition and personally obtained each of these					
I reside at 195 Westkill Are flatterile with I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full					
knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that					
falsifying this certification is punishable	e under s. 12.13(3)(a), Stats.	en & Henress	1		
Date	Sign	ature of Circulator			

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Maijoin Burbran	Mairjori Bienbraue	-160 PrestonDv	Wisconsia	4/12/23
2. Nicht Colorson	NIKTOHAWSEN	170 Proster Dr	Wather R.	4/12/23
3. Harle a & Oces	Havold ADaus	135 Preston Dr	Platerille Wisconsin	4/2/23
4. Nancy Flanagas	Nancy Flange	in 65 Preston D	- Platterille WI	4/12/23
5. A Ballell	R.J. BRODBULL	55 Gentaria.	PATRUILE, WI	4/12/23
Enelyphouserry	EvelynDuesbury	40 Preston Dr.	Wisconsin	4/12/23
John H Duesbury	John Duesbury	40 Preston Dr.	Wisconsin	4/12/23
8. Michael & Fange	WMichael L. Flones	an 65 Preston Dr	Platteville WI	4-12-23
9. Chiensminds	Shiren Symonds	190 Preston Dr.	Platterille WI	4/12/23
10. Buerly Than	Beverly Johansen	170 Preston Dr.	Platferithe WI	112/23
Certificate of Circulator I, Thomas T Nickole, certify: I reside at 1/1/5 Perry DR Platter, III (UIT 538/8). I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats. Date Signature of Circulator				

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Chis J. Mhleshy	Chris Schulenburg	120 preston Orive	platerille, WI	4/12/23
2. ANDI CHUN	Javed Cullen	60 Preston ipr.	Platteville, w1	4/12/23
3. Samantha Vaasser	Sanathelassen	LOPreston pr	Platterille, us	4112123
4. Daugh w. Stepter	Doublas W. STEPHEN	s, 10 Phestor or	PLATTEUNIE, WI	4/12/23
Jammy Salmon-Stephens 6.	Jamey Silnon Stefre	us IDPRESTONIOR	Plattenele, we	4/12/23
6.				
7.				
8.				
9.				
10.				
Certificate of Circulator I,				

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Wh	Kin Pulkabak	1235 Perry Dr	Patpulle wi	4/18/23
2. The Mulel	John Pulkrabok	1235 Pary Doup	Pathrull, WZ	4/18/23
3.	RJ Newmenste	r Perra	Plather:1/e	4/18/23
*Christ Heddin	Janelle Skaju Hosteian	1190 Perry Drive	Plateville	\$3418/23
5 Kh Medden	hyle Hestelan	1190 Perm Drive	Platteville	4/18/23
6.				
7.				
8.				
9.				
10.				
Certificate of Circulator I, KICHARDE, RUNDELL , certify: personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats. Date Certificate of Circulator Certificate of Circulator Certificate of Circulator				

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1.	Ronald Rush	510 Western Ave.	Platteville WI	4-17-23
2. Vanesse Rush	Vanessa Rush	510 Western Ave	Platteville, WI	4.17.23
3.				
4.				
5.				
6.				
7.				
8.				
9.				
10.				
I, May To Henness , certify: I reside at 195 Westhill Ave I personally circulated this petition and personally obtained each of these signatures on this petition. I know that the signers are property owners in the municipality listed above. I know that each person signed the paper with full knowledge of its contents on the date indicated opposite his or her name. I know their respective residences. I intend to support this petition. I am aware that falsifying this certification is punishable under s. 12.13(3)(a), Stats.				
Date 4/17/23 May Henney Signature of Circulator				

SIGNATURE OF PROPERTY OWNER(S)	PRINTED NAME	STREET ADDRESS	CITY & STATE	DATE OF SIGNING
1. Ranbara Deis	Barbara Deis	115 Moonlight Dr	PhHenile, wi	4/11/23
2.	James Klein	205 Mountaght De	Platteurlle, wI	4/11/23
3. Intel	Lucas Wilson	- / /	!	4115/23
* Kayla Wiln	Kayla Wilson	130 Moonlight Dr.	Platferilliwi	4[15 23
5.	Tim DE15	115 MOONINAS D		4/15/23
6.			•	•
7.				
8.				
9.				
10.				
I,				
Date 4-18-2023 Signature of Circulator Thomas Onling				<u>ر</u>

From: Nicola Maurer

Sent: Wednesday, April 19, 2023 9:16 AM **To:** Colette Steffen; Candace Klaas

Subject: FW: Overlay District - 1135 Perry Drive

Input on the overlay district.

From: Barbara Daus <barbaradaus@platteville.org>

Sent: Tuesday, April 18, 2023 7:07 AM

To: Nicola Maurer <maurern@platteville.org>; Joe Carroll <carrollj@platteville.org>

Subject: Fwd: Overlay District - 1135 Perry Drive

Barbara Daus

From: Brian & Tonia Wagner < wagner4@centurytel.net>

Sent: Monday, April 17, 2023 9:26:31 PM

To: Barbara Daus < barbaradaus@platteville.org >; Todd Kasper < kasperplatt98@yahoo.com >; Kenneth Kilian

<kenkilian@platteville.org>; Kathy Kopp <kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>;

Jason Artz < <u>iasonartz@platteville.org</u>> **Subject:** Overlay District - 1135 Perry Drive

Caution: This email is from an external source.

Good evening,

As a resident of the Overlay District on the west side of town, I wanted to share my concerns with the request to remove the Overlay designation from 1135 Perry Dr.

As a resident of this district, there was a great deal of research, time and energy devoted to obtaining the Overlay status. Of course the ultimate goal was to preserve the residential feel and to not have it turn into a rental neighborhood. If you drive through this area, you will see that for the past 10 years, the Overlay district has successfully worked.

When I learned that there was a request to remove the Overlay designation from 1135 Perry Dr., I was concerned. I patiently listened to the information from our neighbors, the Planning Commission and the presentations at the April 11 Common Council meeting. In my opinion, the Overlay designation needs to be upheld for the following reasons:

- 1. It's the zoning designation for that residence. It hasn't been lifted for other properties and should not be for this one.
- 2. If there is a variance allowed for this property, then a precedence will be set for any future real estate transactions which would ultimately undermine the principal behind the Overlay district.
- Due diligence I am sensitive to the fact that the homeowner was unaware of the Overlay
 designation. However, this is 100% an issue between the realtor and the homeowner. The Common Council
 should not have to remedy this error.
- 4. As a parent of college aged students myself, I am also sensitive to the fact that the homeowner felt the need to leave his current rental and find housing elsewhere. However, he clearly stated he is not charging rent to his

roommates. Therefore, abiding by the Overlay should not be a financial hardship for him should he choose to remain in the home.

I appreciate your time and service. I can imagine that you receive numerous inquiries and requests weekly.

Thank you for your consideration,

Tonia Wagner 1155 Union St. Platteville, WI 53818 608 348 2322 From: Robert J Brodbeck < rbrodbeck@centurytel.net >

Sent: Wednesday, April 12, 2023, 9:36 PM

To: Barbara Daus < barbaradaus@platteville.org >; Eileen Nickels < eileennickels@platteville.org >; Todd Kasper

<kasperplatt98@yahoo.com</p>
; Kenneth Kilian <kenkilian@platteville.org</p>
; Kathy Kopp

<kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>; Jason Artz

<jasonartz@platteville.org>

Cc: <u>jefitz1@centurylink.net</u> <<u>jefitz1@centurylink.net</u>>
Subject: Regarding the Limited Occupancy Overlay District

Caution: This email is from an external source.

Dear Platteville City Council members:

Because I won't be able to attend next week's council meeting in person or online, I am providing you with this email. I attended the April 11, 2023, council meeting and want to go on record to oppose the removal of the current overlay district on residential properties located in the westside of Platteville neighborhoods. In my opinion, those who spoke against the removal of the overlay articulated sound justifications for retaining it. Additionally, I do not believe it is appropriate to make a limited time exception for the 1135 Perry Drive residence. Although, I feel bad for the new property owner's situation, his problem isn't with the city, but rather rightfully resides with the real estate agent who failed to divulge the overlay district. That is not an issue or responsibility for the city to address or resolve.

I urge you to vote no to lifting the overlay district, and not to proceed with a variance. To do otherwise will set a bad precedent in addition to being unjust to many for the sake of one.

I want to share two noteworthy points that are somewhat related to this matter. First, last night there was a brief mention of the lack of student housing. It's my understanding that UW-P currently has no less than two empty dorms and, thus, there is not a lack of on campus student housing. Second, based on what I understand from speaking with the manager of Stonebridge Apartments, Jeff Fitzgerald, the city currently has a zoning enforcement issue that needs to be addressed. I'm referring to the 949 Stonebridge Road residence that is zoned R-1 but, according to Jeff, has 6 to 7 unrelated individuals living there. If that's correct, this needs to be addressed because it's a clear violation of Platteville's zoning ordinance.

In addition, Jeff can attest to there being cars towed in and out of the before-noted property for repairs. On occasion, cars are parked in the yard on the westside of the house. An auto salvage truck has picked up parts once to twice a year. Here again, if this is the case, not only is that residence's owner in violation of R-1 zoning but he's operating an unlicensed business. I encourage you to investigate this matter again. I note 'again' because Jeff said the city was made aware of this situation over two years ago but no action was taken. Assuming Mr. Fitzgerald is correct, which is likely because he lives close to 949 Stonebridge, he observes first-hand and receives Stonebridge Apartment tenants' noise complaints resulting from that residence, I ask that any zoning violation(s) be addressed.

Thank you.

Respectfully,

Bob Brodbeck 55 Preston Dr. Platteville (608.348.9642) Cc: Jeff Fitzgerald

From: Nicola Maurer

Sent: Monday, April 24, 2023 8:07 AM
To: Colette Steffen; Candace Klaas

Subject: FW: Overlay district

From: Barbara Daus <barbaradaus@platteville.org>

Sent: Sunday, April 23, 2023 10:01 PM

To: Nicola Maurer <maurern@platteville.org>

Subject: Fwd: Overlay district

Barbara Daus

From: Deb Osting <<u>debbdoster@yahoo.com</u>> Sent: Sunday, April 23, 2023 7:39:34 PM

To: Barbara Daus < barbaradaus@platteville.org >; Todd Kasper < kasperplatt98@yahoo.com >; Kenneth Kilian

<kenkilian@platteville.org>; Kathy Kopp <kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>;

Jason Artz < jasonartz@platteville.org>

Subject: Overlay district

Caution: This email is from an external source.

Hello,

I live within the Overlay district that will be voted on at the 4/25/2023 council meeting. I urge you to support our efforts to keep the district intact. Having a single family neighborhood so close to the University and the downtown area has been an asset to the city. We have lawns, not cemented or graveled yards, low traffic, few noise issues, no parking problems and our neighborhood is bike and walking friendly. Please vote to keep it that way.

Deb Osting 150 Moonlight Dr

From: Nicola Maurer

Sent: Monday, April 24, 2023 8:41 AM
To: Colette Steffen; Candace Klaas

Subject: FW: Overlay for Preston Drive neighbor hood

From: Barbara Daus <barbaradaus@platteville.org>

Sent: Friday, April 21, 2023 9:17 PM

To: Council Members < Council@platteville.org>

Subject: Fwd: Overlay for Preston Drive neighbor hood

Barbara Daus

From: Terry wood <<u>woodterrya@gmail.com</u>>
Sent: Friday, April 21, 2023 8:44:53 PM

To: Barbara Daus < barbaradaus@platteville.org > Subject: Overlay for Preston Drive neighbor hood

Caution: This email is from an external source.

I am opposed to allowing the property on Perry Drive not to comply to our protected Overlay. The reason this was instated was to ensure our neighborhood was kept residential family housing. Our yard butts up to the University on 2 sides. If one property is allowed unlimited adults living together, we fear it would lower our property value and encourage more houses on our street sold for rental purposes.

Terry and Tim Wood 75 Preston Drive Platteville, Wi.

From: Nicola Maurer

Sent: Tuesday, April 25, 2023 8:23 AM To: Candace Klaas; Colette Steffen

Subject: FW: Ordinance

Follow Up Flag: Follow up Flag Status: Flagged

Please include the below email with the other emails we have received on the Perry Drive rezoning matter.

Thanks. Nicola

----Original Message----

From: Steve Rogers <teho53818@gmail.com>

Sent: Monday, April 24, 2023 7:59 PM

To: Barbara Daus <barbaradaus@platteville.org>; Kenneth Kilian <kenkilian@platteville.org>; Kathy Kopp

<kathykopp@platteville.org>; Lynne Parrott <lynneparrott@platteville.org>; Jason Artz

<jasonartz@platteville.org>; Todd Kasper <toddkasper@platteville.org>

Cc: Nicola Maurer <maurern@platteville.org>; Candace Klaas <cityclerk@platteville.org>; Jodie Richards

<Richardsjo@platteville.org>; Joe Carroll <carrollj@platteville.org>

Subject: Re: Ordinance

Caution: This email is from an external source.

I noticed that the information online for the next Council meeting includes citizen communications related to the rezoning request on Perry Drive. I think it's important to allow public comment on such matters. However, I also noticed that my comments were not included. Is that because I didn't include my mailing address? Or perhaps it's because my opinion doesn't align with that of City leaders? I can tell you I live in Platteville but I don't live at the house on Perry Drive or elsewhere in the neighborhood. Does that mean my opinion doesn't matter? Or perhaps it's because City leadership has already decided how they will vote on the issue and are only interested in including information that justifies how they will vote? If it does matter, then please realize that I agree with the Plan Commission recommendation.

> On Apr 18, 2023, at 7:57 AM, Steve Rogers <teho53818@gmail.com> wrote:

>

>

> I recently watched the video of the April 11th Council meeting. WOW! The hatred coming from the residents towards college students was palpable. I kept thinking if they said blacks, hispanics, gay/lesbian or any immigrant group instead of college students the conversation would have been much different. I realize college students are not a protected class of people, but that doesn't make the hate any less real and it certainly doesn't make it right. Shame on the neighbors and shame on the City for having that ordinance in your code. Good thing you have a task force to maintain the smoke screen of pretending you care about inclusivity, diversity and equity.

Ordinance No. 23-25

ORDINANCE AMENDING THE ZONING MAP WHICH IS PART OF THE OFFICIAL ZONING ORDINANCE OF THE CITY OF PLATTEVILLE

The Common Council of the City of Platteville do ordain as follows:

<u>Section 1</u>. The Zoning Map, which is part of the Official Zoning Ordinance of the City of Platteville, is hereby amended as follows:

The following described area which is zoned R-1 Single Family Residential District and with an R-LO Limited Occupancy Overlay District designation, is hereby rezoned to remove the R-LO Limited Occupancy Overlay District designation.

Lot 9, Block 3 of the West Hill Subdivision, being located in the Northwest Quarter of the Northeast Quarter of Section 16, Township 3 North, Range 1 West, of the 4th P.M., City of Platteville, Grant County, Wisconsin.

The area to be rezoned has an address of 1135 Perry Drive.

<u>Section 2</u>. This Ordinance shall be in full force and effect from and after its passage and publication as required by law.

Approved and adopted by the Common Council of the City of Platteville on a vote of ___ to ___ on this 25th day of April, 2023.

	CITY OF PLATTEVILLE
Attest:	Barbara Daus, Council President
Candace Klaas, City Clerk Published: . 2023	

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET

COUNCIL SECTION:

TITLE:

PUBLIC HEARING Conditional Use Permit – Humane Society Kennels at ITEM NUMBER: 500 E. Business Highway 151

DATE: April 25, 2023

VOTE REQUIRED: Majority

III.B.

PREPARED BY: Joe Carroll, Community Development Director

Description:

The Grant County Humane Society is interested in purchasing the property at 500 E. Business Highway 151 for use as an animal shelter and kennels, which requires the approval of a conditional use permit.

The 4.5-acre property has frontage on Valley Road and Business Highway 151; however, all vehicular access is from Business Highway 151. The building has approximately 11,664 square feet. The building will be remodeled to accommodate up to 40 dogs and 62 cats, and will include a drop-off area, surgical suite, offices, and a retail area. Outdoor kennels and a fenced play area will also be provided to the side and rear of the building. Visitor and employee parking will be provided in front of the building. In the future, depending on capacity, the operations may also include boarding animals and animal daycare services.

Budget/Fiscal Impact:

The property purchase will have a negative budget impact due to the non-profit status of the Humane Society.

Recommendation:

The Plan Commission considered this item at the April 3rd meeting and recommended approval.

There is adequate space on the property to accommodate the proposed shelter and kennel, and the proposed use is compatible with the surrounding businesses. Overall, the proposed use appears to be in compliance with the zoning requirements for a Conditional Use Permit. Staff agrees with the Plan Commission recommendation for approval.

Sample Affirmative Motion:

"Motion to approve the Conditional Use Permit for the Grant County Humane Society animal shelter and kennel on the property at 500 E. Business Highway 151."

Attachments:

- Staff Report
- Location Map
- Application
- draft Resolution.

STAFF REPORT

CITY OF PLATTEVILLE

Community Planning & Development Department



Meeting Dates:

Plan Commission -

April 3, 2023

Common Council-

April 11, 2023 (Information)

April 25, 2023 (Action)

Re:

Conditional Use Permit

Case #:

PC23-CUP02-05

Applicant:

Grant County Humane Society

Location:

500 E. Business Highway 151

Surrounding Uses and Zoning:

Direction	Land Use	Zoning	Comprehensive Plan
Property in Question	Business	В-3	Business
North	City Water Plant/ Business	B-3/M-2	Business/Manufacturing
South	Business / Agriculture	В-3	Business
East	Business	B-3/M-2	Business/Manufacturing
West	Business	В-3	Business

I. BACKGROUND

1. The property in question currently contains a vacant commercial building. The Grant County Humane Society is interested in purchasing the property and operating an animal shelter and kennel on the site, which requires approval of a conditional use permit.

II. PROJECT DESCRIPTION

2. The 4.5-acre property has frontage on Valley Road and Business Highway 151; however, all vehicular access is from Business Highway 151. The building has approximately 11,664 square feet. The building will be remodeled to accommodate up to 40 dogs and 62 cats, and will include a drop-off area, surgical suite, offices, and a retail area. Outdoor kennels and a fenced play area will also be provided to the side and rear of the building. Visitor and employee parking will be provided in front of the building. In the future, depending on capacity, the operations may also include boarding animals and animal daycare services.

III. STAFF ANALYSIS

3. When considering a Conditional Use permit, consideration must be given to the standards listed in Section 22.13. Specifically, this section allows for the issuance of a Conditional Use Permit when it is shown that the "uses and structures are in accordance with the purpose and intent of the Ordinance and are found not to be hazardous, harmful, offensive, or otherwise adverse to the environment or the value of the neighborhood or the community." There is adequate space on the property to accommodate the proposed shelter and kennel, and the proposed use is compatible with the surrounding businesses. Overall, the proposed use appears to be in compliance with these requirements.

IV. RECOMMENDATION

4. Staff recommends approval of the Conditional Use Permit to allow the proposed animal shelter and kennel on the property at 500 E. Business Highway 151.

ATTACHMENTS: Location Map, Application.

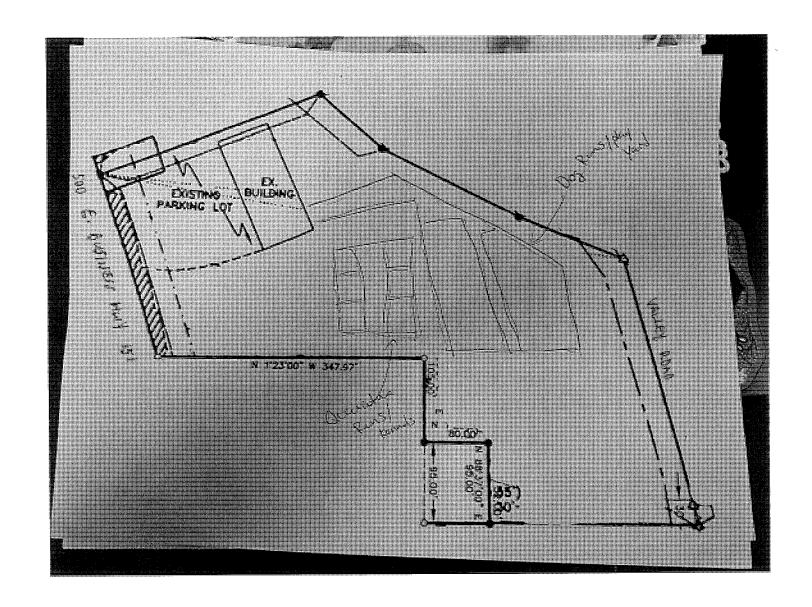
ArcGIS Web Map





0.11 mi

0.18 km













RESOLUTION NO. 23-06

RESOLUTION APPROVING A CONDITIONAL USE PERMIT

WHEREAS, the Grant County Humane Society proposes to operate an animal shelter and kennel on the property at 500 E. Business Highway 151; and,

WHEREAS, the property is zoned B-3 Highway Business, which allows kennels and other animal-related facilities with the approval of a Conditional Use Permit (CUP); and

WHEREAS, the Planning Commission of the City of Platteville reviewed the request at their April 3, 2023 meeting and recommended approval.

NOW, THEREFORE, the Common Council of the City of Platteville hereby approves a Conditional Use Permit to allow the Grant County Humane Society to operate an animal shelter and kennel on the property at 500 E. Business Highway 151.

on Council of the City of Platteville this 25 th day
_
THE CITY OF PLATTEVILLE,
By: Barb Daus, Council President

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET							
COUNCIL SECTION: PRESENTATION ITEM NUMBER: IV.	TITLE: Platteville Public Library Update	DATE: April 25, 2023 VOTE REQUIRED: None					
PREPARED BY: Jessie	Lee-Jones, Library Director						

Description:

Library Director Jessie Lee-Jones will present an update on the Platteville Public Library.

Attachments:

- 2022 Public Library Annual Report
- 2022 Platteville Public Library Accomplishments

2022 by the numbers





people visited the Library. That's a 57% increase over 2021.

93,162

physical items checked out. That's a 24.5% increase compared to 2021.

volunteer hours

The most items were returned **December 27**



27.886 ebook and eaudiobooks checked out



The busiest checkout day was Wednesday, December 21

Most requested items of 2022

- It Ends with Us by Colleen Hoover
- Verity by Colleen Hoover
- Reminders of Him by Colleen Hoover
- Where the Crawdads Sing by Delia Owens
- The Maid by Nita Prose

Most requested authors of 2022

- Colleen Hoover
- James Patterson
- Lee Child
- Erin Hunter
- David Baldacci



Most checked out item of 2022 🎺 🤝

(and 2020 and 2019) Where the Crawdads Sing by Delia Owens

4,305

people came to 197 programs



6,507 items checked

out with the selfcheck machines



1,681

times the meeting rooms were used



people signed up for a library card

2022 highlights

PLATTEVILLE PUBLIC LIBRARY

We believe that **libraries are for everyone**, so we added five signs to say this in English, Pashto, Ho-Chunk, Chinese, and Spanish.

We added two new **self-check machines** as part of a \$25,000 ARPA grant through the Southwest Wisconsin Library System.

Time flies! We celebrated our **fifth anniversary** in our new building this year.

Welcome to new staff! We added Mela Lewandowski as Outreach Coordinator; Daryn Baryenbruch, Charlie Chamberlain, and Shauheen Soofi as custodians; and Eva Hollingsworth, Madeline Korb, and Jenna Shea as assistants. Congratulations to Maggie Bahn Denowski in her new role as Youth Services Outreach Coordinator.

It's easier to find your favorite children's book now! We finished a massive relabeling project to ensure all 7,800+ picture books have consistent labeling.

We were grateful to receive a \$97,000 bequest to the Library Foundation from the estate of **Eila Butterworth**.

Thank you to the Platteville Library
Foundation for our additional program
funding, including costumes for our
summer princess party, an outreach button
maker, read-along books, summer
performances, dial-a-story phone line, and
the Hillmen Art Connection display.

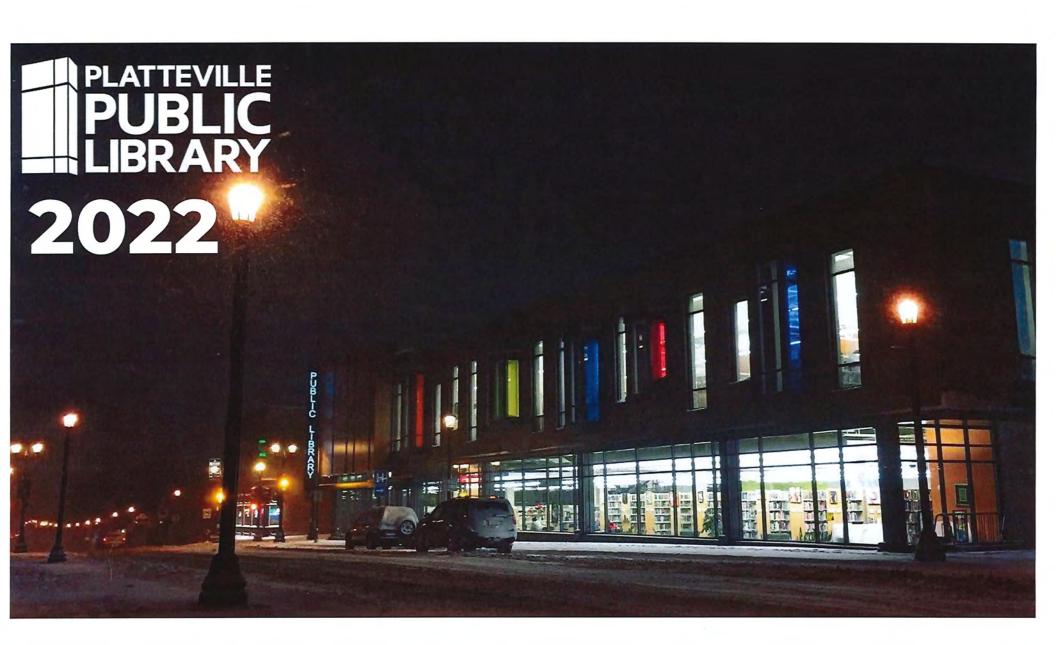
The Library hosted the traveling exhibit "Immigrant Journeys from South of the Border" through Wisconsin Humanities.

Thanks to the Wisconsin Department of Natural Resources, we were one of 20 libraries chosen to offer free one-day state park passes.

We were delighted to have **Noodles the** axolotl spend the summer with us.

Thank you to the Platteville
Community Fund for funding
our new bicycle + scooter
rack. No matter what form of
transportation you take to
the Library, we're always
happy to see you here!

2022 Library staff: Jessie Lee-Jones (Director), Maggie Bahn Denowski, Daryn Baryenbruch, Roxanne Boardman, Mike Bradley, Molly Carns, Charlie Chamberlain, Valerie Curley, Leanne Holdridge, Eva Hollingsworth, Erin Isabell, Tom Kastner, Madeline Korb, Luke Korzeniewski, Mela Lewandowski, Binga Manwiller, Rachel McFall, Cheryl Philipps, Kalle Pluemer, Nancy Sagehorn, Jenna Shea, Lydia Sigwarth, Shauheen Soofi, Bailey Watson, Karina Zidon. Library Board: Lynne Parrott, Kelly Podach Francis, Nathan Robinson, Kelly Sponsler, Karen Utley, Carla Wages, Emily Zachary





We provide meaningful opportunities for patrons to get involved and foster ownership.

- Outreach Coordinator Mela and Specialist Rachel schedule and assign tasks to 12 individual volunteers on a regular basis
- Over 100 hours of service were logged.
 Volunteer Madison was awarded as our "Volunteer of the Year"













We are active participants in our Main Street community.

- Library Director Lee-Jones serves on the Main Street Promotion Committee
- Outreach Coordinator Mela serves on the PATH (Platteville Arts, Trails, and History)
 Chalk and Cheese planning committee
- We welcomed over 250 visitors during Sweet Treats on Main Street
- Patron Services Manager decorated our cow for Dairy Days as Elizabeth the 75th
- Library Specialists Nancy and Rachel manage the Small Business Passport program





We maintain strong connections with the Platteville School District

- Summer school hosted a daily course at the library
- School visits and library cards issued to all 1st graders
- District-wide art show
- Homecoming window display
- Dial-a-Story recordings
- Diverse Student Alliance
- 4k Book Bike visits
- Neal Wilkins Exploration Night













We partner with local, regional, and statewide organizations to bring new and unique services to our community

- Tri-State Needle Arts display
- Southwest Opportunity Center paper shredding
- Check Out a State Park Pass with DNR and WLA
- Wisconsin Humanities Council Immigrant Journeys display
- Hillmen Art Connection









We provide a wide variety of programming thanks to many community donors, volunteers, and partner organizations including:

- Jen Mariskanish and Maloo
- Tri-State Needle Artists
- PCA (pictured)
- Southwest Opportunities Center (pictured)
- Grant County Master Gardeners
- Platteville Senior Center
- Wisconsin Humanities Council
- Sinsinawa Mounds Large Print collection donation
- PATH (Platteville Arts, Trails, and History)
- Music Together
- Elks Club
- Wisconsin DNR
- Southwest Wisconsin Library Association
- Wisconsin Library Association
- Platteville Thrift Shop
- LDS Sisters
- Grant County Historical Society
- Southwest Opportunities Center, Inc. (pictured)
- UW-Platteville
 - o Circle K
 - Marty Green and AmeriCorps Farm to School, Garden Detectives (pictured)
- Optimists- Books 4 Babies
- Main Street/Chamber- Small Business Passport
- Donations of supplies
 - Chiropractic Associates
 - o Mellin family
 - o Platteville Main Street Program



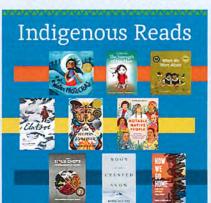












collections and resources.



COMMUNITY AWARENESS

Small Business PASSPORT

NOVEMBER 21 - DECEMBER 21







Feb. 1st - 28th, 2022

We provide opportunities for our patrons to engage at the library, online, and out in the community.

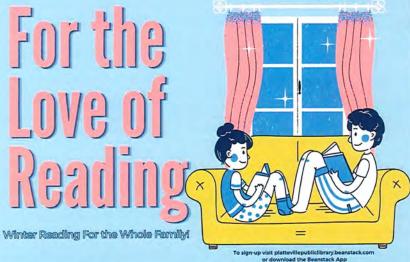


Free online homework help.

Anywhere. Anytime.

Find your library card and get started at plattevillepubliclibrary.org/resources

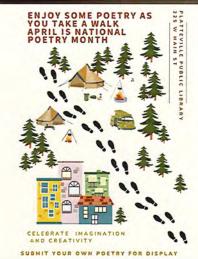




Library
Card Sign
Up Month







COMMUNITY AWARENESS





We provide opportunities for community members to learn more about the library, network, and get involved.

- Patron Appreciation Day
- Main Street Monthly Mingle
- 5 Year Anniversary Open House





COMMUNITY AWARENESS

We support our diverse community, provide a welcoming atmosphere, and make meaningful connections.

- June Pride Month Celebration
- Inclusive Playground donation to purchase a StoryWalk system
- PHS students recorded Dial-A-Story books in Spanish
- Collection development project focused on the refugee experience and titles in Pasto, Farsi and Dari
- Libraries are for Everyone signs hung in English, Pashto, Ho-Chunk, Chinese, and Spanish
- Sensory Friendly Storytime















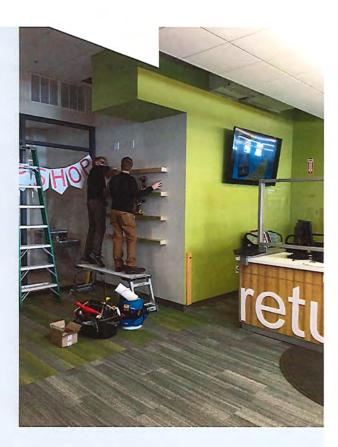




We continue to adjust and adapt to our space.

- Elevator signage in basement
- Donor recognition wall
- Bike and scooter rack purchased thanks to Platteville Community Fund grant





ADJUSTING TO THE NEW BUILDING

We worked through many staffing changes. We welcomed

- Mela, Outreach Coordinator
- Madeline, Jenna, and Eva, Library AssistantsShauheen and Charlie, Custodians
- o Daryn and Sally, Substitute Custodians

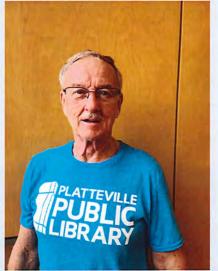














STAFF DEVELOPMENT

We encourage personal and professional growth for patrons and staff.

- Roxanne, Binga, Mela, Rachel, and Maggie graduated from the OverDrive support course
- Maggie attended Youth Services 101 through UW-Madison
- Rachel and Karina serve on the SWLS Best **Practices Committee**
- Jessie serves on the SWLS Technology Committee

FREE VIRTUAL EVENT | MAY 19, 2022

Staff attended quarterly all-staff training/team building days





Respectful Human Resources for Rural Librarians

Lisa Shaw Small & Rural Libraries & Workforce Development Specialist - Maine State Library



MENTAL HEALTH IN LIBRARY CUSTOMER **INTERACTIONS**





Coping With Compassion Fatigue

Visit www.menti.com and enter code 9705 1654



MOMELESSTRAINING



Instagram Basics for Libraries

June 8, 2022

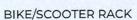


e Zrostlik, Winding Rivers Library System BY RYAN DOWD auna Koszegi, Southwest Wisconsin Library Syst - Welcome, everyone ly Lupton, Director, Wilton Public Library



STAFF DEVELOPMENT







COSTUMES FOR PRINCESS PARTY



OUTREACH BUTTON MAKER



SUMMER PERFORMANCES

DIAL-A-STORY PHONE LINE



READALONG BOOKS



HILLMAN ART CONNECTION

DONOR SUPPORTED PROJECTS IN 2022



Eila B. Butterworth

August 14, 1913 - April 8, 2021

A LEGACY GIFT FROM EILA BUTTERWORTH

The Platteville Public Library Foundation recently accepted a bequest of over \$97,000 from the estate of Eila Butterworth.

The board determined that the gift will be transferred into the endowment account designated for the long-term care of the library building.

Planned gifts are an important part of the charitable giving process. Community members are encouraged to consider the Platteville Library Foundation in their family's financial planning.

To discuss your legacy plan or learn more about making a donation to the Platteville Library Foundation, please contact Foundation President Lori Laufenberg at foundation@plattevillepubliclibrary.org or contact 608-348-7441 ext. 5.



THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET COUNCIL SECTION: CONSIDERATION OF CONSIDERATION OF CONSENT AGENDA ITEM NUMBER: V. PREPARED BY: Candace Klaas, City Clerk

Description:

The following items may be approved on a single motion and vote due to their routine nature or previous discussion. Please indicate to the Council President if you would prefer separate discussion and action.

Budget/Fiscal Impact:

None

Sample Affirmative Motion:

"I move to approve all items listed under Consent Calendar"

Attachments:

- Council Minutes
- Payment of Bills
- Appointment of Boards and Commissions
- Licenses
- Permits
- Proclamation for Arbor Day

PLATTEVILLE COMMON COUNCIL PROCEEDINGS April 11, 2023

The regular meeting of the Common Council of the City of Platteville was called to order by Council President Barbara Daus at 6:00 PM in the Council Chambers of the Municipal Building.

ROLL CALL

Present: Barbara Daus, Lynne Parrott, Todd Kasper, Eileen Nickels, Kathy Kopp, Jason Artz, and Ken Kilian.

Excused: None.

PRESENTATIONS

- A. Proclamation Recognizing Alderperson Eileen Nickels Proclamation presented by Council President Barbara Daus.
- B. Proclamation Recognizing national Library Week 2023 Proclamation presented by Council President Barbara Daus.
- C. 2022 Platteville Incubator Annual Report Presentation given by Executive Director Kate Koziol.

CONSIDERATION OF CONSENT AGENDA

Motion by Nickels, second by Kopp to approve the consent agenda as follows: Council Minutes – 3/28/23 Regular; Payment of Bills in the amount of \$689,319.86; Financial Report – March; Appointments to Boards and Commissions, Robert Vosberg to the Plan Commission, Paul Malischke to Community Safe Routes Commission, Marcia Cordts to Fruedenreich Animal Trust Fund Committee, Kelly Sponsler to the Library Board, and Beth Freiders to the Historical Preservation Commission.; One-Year Operator License – Hazel I Klosterman; Two-Year Operator License – Kelly A Kettler, Myale E Nevitt, and Kearstin K Schwetzer; Street Closing Permit, N Court Street between the St. Mary's Church and School and between W Adams Street and W Cedar Street for Parish Family Event on Thursday, June 29 from 3:00 PM to 10:00 PM by the St. Mary's Parish.; Council Organizational Meeting – Tuesday, April 18 at 5:00 PM. Motion carried 7-0 on a roll call vote.

<u>CITIZENS' COMMENTS</u>, <u>OBSERVATIONS AND PETITIONS</u>, if any. Council President Daus thanked all involved who helped with the Spring Election.

REPORTS

- A. Board/Commission/Committee Minutes Housing Authority Board.
- B. Other Reports Water and Sewer Financial Report March, Airport Financial Report March, and Department Progress Reports.

ACTION

- A. *Emmi Roth Right of First Refusal* <u>Motion</u> by Kasper, second by Parrott to approve the Right of First Refusal for a 30-day period. Motion carried 7-0 on a roll call vote.
- B. Freudenreich Animal Trust Fund Principal Request Dr. Cari Schaffer spoke in favor. Paul Halberg registered in favor. Motion by Kopp, second by Kasper to authorize use of the Freudenreich Animal Care Trust Fund to support the purchase of the building at 500 E. Business Highway 151 in the City of Platteville to house the Grant County Humane Society through

- closure of the Freudenreich Animal Care Trust Fund and disbursement of the principal and earnings to the Grant County Humane Society at which time we are notified the full funding is available. Motion carried 7-0 on a roll call vote.
- C. Contract 4-23 Business 151 (Fastenal) Storm Sewer Construction Motion by Kasper second by Kilian to reject all bids. Motion carried 7-0 on a roll call vote.
- D. Contract 15-23 Weed and Grass Mowing Motion by Nickels second by Artz to award Contract 15-23 Weed and Grass mowing to Holman Lawncare at the bid price of \$80.00 per hour and \$80.00 minimum per location. Motion carried 7-0 on a roll call vote.
- E. 2022 Budget Carryovers to 2023 (Budget Amendment #1) Motion by Nickels, second by Kopp to approve the carryover of \$646,855 in the CIP Fund and \$34,866 in the General Fund per the attached schedule. Motion carried 7-0 on a roll call vote.
- F. Swimming Pool Water Tightness Integrity Proposal (Budget Amendment #2) Motion by Kilian, second by Parrott to approve Staff to hire an engineer and necessary contractors to complete a pool water tightness evaluation and repair plan not to exceed \$62,000. Motion carried 7-0 on a roll call vote.
- G. Procedure for Filling Alderperson District 3 Position Motion by Kopp, second by Nickels to approve the selection process and timeline proposed by Staff to fill the vacancy of the position of Alderperson District 3. Motion carried 7-0 on a roll call vote.

INFORMATION AND DISCUSSION

A. Ordinance – Zoning Amendment – Remove R-LO Overlay District at 1135 Perry Drive – Community Development Director Joe Carroll explained that the property at 1135 Perry Drive contains a single-family house that was recently purchased by the applicant. The applicant is a student at UW-Platteville and lives there with three other students. This is a temporary living situation for them, and the applicant plans on selling the property after he graduates. The property is currently zoned R-1 Single Family Residential, and also has an R-LO Limited Occupancy Residential overlay district designation. With this designation, the property can be used as an owner-occupied residence, and as a rental property, but is limited to the number of unrelated individuals that can live on the property. The house can be occupied by any number of individuals that compose a family (as defined by the code), but it would be limited to a maximum of 2 individuals that are unrelated. This means that only 2 of the current occupants are allowed to live there. The applicant was not aware of this restriction when purchasing the property and is requesting to have the R-LO overlay district designation removed, which would allow the property to be occupied by a maximum of 4 unrelated individuals, which would be the same as other R-1 properties. This would allow all four of the residents to remain living on the property. When the R-LO district designation was adopted in 2012, it was based on a petition submitted by residents in the neighborhood. The designation only included the properties where the owner signed the petition and did not include any nearby or adjoining properties where the owner did not sign the petition. For this reason, there are gaps in the designation in various areas, including the adjacent property to the north of the applicant's property. At the time the overlay district was created, the prevailing sentiment among the members of the Plan Commission and some of the Council was that the City shouldn't be forcing this designation on any property owner that didn't want it. There was also a similar sentiment among some that any owner that didn't want the overlay designation should be able to have it removed. The neighborhood would prefer that the overlay district designation remains in place. The neighbors have submitted a protest petition related to the rezoning request. The petition has been signed by the owners of more than 20% of the land within 100 feet of the property. This petition requires that the zoning amendment shall not become effective except by the favorable vote of three-fourths of the members of the Common Council voting on the proposed change. The Plan Commission considered this request at the April 3rd meeting and recommended that the R-LO overlay district designation remain, but that the applicant be allowed up to 2 years to achieve compliance. Staff has no concerns with the request to remove the R-LO designation. Staff also believes that the Plan Commission proposal is a good compromise and would agree with that recommendation Applicant Devyn Behlke spoke in favor. Paul Haberg registered in favor. Gene Weber presented a petition to the Council as well as spoke against along with Tom Osting, Mary Jo Hennesy, Kathy Connett, Siri Jenkins, and Bev Johansen. Josephine Kischer, Terry Vaassen, Tom Nickels, Tom Young, Sylvia Kurowski, Kay Young, Donita Cartmill, Bonnie Vaassen, Diane Nelson, Dwight Nelson, Jan Weber, Debra Meis, Melody Koppen, Mathew Ellman, Deb Osting, Richard Rundell, Tonia Wagner, Brian Wagner, and Mary Karen Rundell all registered against.

- B. Resolution Conditional Use Permit Animal Shelter/Kennel at 500E. Business Highway 151 Community Development Director Joe Carroll explained that the Grant County Humane Society is interested in purchasing the property at 500 E. Business Highway 151 for use as an animal shelter and kennels, which requires the approval of a Conditional Use Permit. The building has approximately 11,664 square feet. The building will be remodeled to accommodate up to 40 dogs and 62 cats and will include a drop-off area, surgical suite, offices, and a retail area. Outdoor kennels and a fenced play area will also be provided to the side and rear of the building. Visitor and employee parking will be provided in front of the building. In the future, depending on capacity, the operations may also include boarding animals and animal daycare services. The Plan Commission considered this item at the April 3rd meeting and recommended approval. There is adequate space on the property to accommodate the proposed shelter and kennel, and the proposed use is compatible with the surrounding businesses. Overall, the proposed use appears to be in compliance with the zoning requirements for a Conditional Use Permit. Staff agrees with the Plan Commission recommendation for approval. Dr. Cari Schaffer spoke in favor and to some of the concerns from Council members.
- C. Resolution to Authorize Release of Citations Donisi Properties Community Development Director Joe Carroll explained that the City has issued approximately 765 citations to Mr. Dave Donisi between March of 2020 and January of 2023 primarily regarding property maintenance issues for several of his properties. He has been found guilty on all of them. His properties are now in the hands of Reliable Guardianship Services, Inc., a court-appointed guardian who is trying to sell the properties. Some of the properties are vacant and some are occupied, but as they become vacant and cleaned out they are being listed for sale. The 11 properties in the City and 1 property in the Township will be sold to pay off Mr. Donisi's debts. It appears that the value of the properties is not adequate to cover all the debt and liens that are in place on the properties. The attorney working with the guardian is asking if the City would be willing to sign a release for these citations to help expedite the sale of the properties. It appears that a similar request is being made to other debtors and lienholders that are involved in the properties.

<u>Motion</u> by Nickels, second by Kopp to adjourn. Motion carried 7-0 on a roll call vote. The meeting was adjourned at 7:42 PM.

Respectfully submitted,

Candace Klaas, City Clerk



PLATTEVILLE COMMON COUNCIL PROCEEDINGS APRIL 18, 2023

The organizational meeting of the Common Council of the City of Platteville was called to order by Council President Barbara Daus at 5:00 PM in the Council Chambers of the Municipal Building.

ROLL CALL

Present: Barbara Daus, Ken Kilian, Lynne Parrott, Jason Artz, Kathy Kopp, and Todd Kasper.

Excused: None

ADMINISTER OATH OF OFFICE

City Clerk Candace Klaas administered the oath of office to Kathy Kopp (Alderperson At-Large) and Barbara Daus (Alderperson – District 2). Each will serve a 3-year term.

ELECTION OF COUNCIL PRESIDENT

Daus requested nominations for Council President. <u>Motion</u> by Artz, second by Parrott to nominate Barbara Daus for President. Nominations were closed. Motion carried 6-0 on a roll call vote.

DESIGNATION OF PRESIDENT PRO TEM

Daus designated Kathy Kopp as President Pro Tem.

ELECTION OF PLAN COMMISSION MEMBER

<u>Motion</u> by Artz, second by Kopp to nominate Todd Kasper. Nominations were closed and a unanimous vote was cast for Todd Kasper. Kasper will also serve on Board of Appeals – Zoning. Motion carried 6-0 on a roll call vote.

DETERMINE COUNCIL SEATING ARRANGEMENTS

Seating arrangements are from left to right in the following order, Jason Artz, Kathy Kopp, Barbara Daus, Ken Kilian, Lynne Parrott, Todd Kasper.

ACTION

- A. Resolution 23-05 Designation of Official Newspaper Platteville Journal Motion by Kilian, second by Artz to approve Resolution 23-05 to Designate Platteville Journal as the Official Newspaper. Motion carried 6-0 by a voice vote.
- B. Continuation of City Attorney and Special Counsel for Prosecutorial Services Motion by Kopp, second by Parrott to approve continuation of services with Bill Cole of Axley Brynelson for City Attorney and Ben Wood of Wood Law Firm for Special Counsel Prosecutorial Services. Motion carried 6-0 on a roll call vote.

ADJOURNMENT

Motion by Kopp, second by Parrott to adjourn. Motion carried 6-0 on a roll call vote. The meeting was adjourned at 5:15 PM.

Respectfully submitted,

Candace Klaas, City Clerk

SCHEDULE OF BILLS

MOUND CITY BANK:

4/7/2023	Schedule of Bills (ACH payments)	7953-7955	\$ 50,420.26
4/7/2023	Schedule of Bills	75512-75514	\$ 755.76
4/7/2023	Payroll (ACH Deposits)	114206-114314	\$ 188,527.92
4/10/2023	Void	75399	\$ (145.00)
4/19/2023	Schedule of Bills (ACH payments)	7956-7995	\$ 81,849.19
4/19/2023	Schedule of Bills	75515-75558	\$ 111,563.20
			\$ -
	(W/S Bills amount paid with City Bills)		\$ (36,750.58)
	(W/S Payroll amount paid with City Payroll)		\$ (29,190.46)
	Total		\$ 367,030.29

Cileok issue Dates: 4/0/2023 - 4/19/2023							-,	
GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
7953								
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX F	PR0401231	1	12,538.53	12,538.53
04/23	04/07/2023		INTERNAL REVENUE SE	FEDERAL INCOME TAX S	PR0401231	2	11,016.93	11,016.93
04/23	04/07/2023	7953		FEDERAL INCOME TAX S	PR0401231	3	11,016.93	11,016.93
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX	PR0401231	4	2,576.57	2,576.5
						5	2,576.57	•
04/23	04/07/2023	7953	INTERNAL REVENUE SE	FEDERAL INCOME TAX	PR0401231	5	2,570.57	2,576.5
To	otal 7953:						-	39,725.53
7954								
04/23	04/07/2023	7954	WI DEFERRED COMP BO	DEFERRED COMPENSAT	PR0401231	1	1,584.38	1,584.38
04/23	04/07/2023	7954	WI DEFERRED COMP BO	DEFERRED COMPENSAT	PR0401231	2	2,438.40	2,438.40
To	otal 7954:							4,022.78
7955								
04/23	04/07/2023	7955	WI DEPT OF REVENUE	STATE INCOME TAX STA	PR0401231	1	6,671.95	6,671.9
To	otal 7955:						_	6,671.9
7956								
04/23	04/19/2023	7956	CARDMEMBER SERVICE	WATER DEPT CHARGES	03.24.2023	1	83.97	83.9
04/23	04/19/2023	7956	CARDMEMBER SERVICE	WATER DEPT CHARGES	03.24.2023	2	248.96	248.9
04/23	04/19/2023	7956	CARDMEMBER SERVICE	SEWER DEPT CHARGES	03.24.2023	3	12.15	12.1
04/23								
04/23	04/19/2023 04/19/2023	7956 7956	CARDMEMBER SERVICE CARDMEMBER SERVICE	SEWER DEPT CHARGES SEWER DEPT CHARGES	03.24.2023 03.24.2023	4 5	486.00 80.00	486.0 80.0
To	otal 7956:						=	911.08
7957							-	
04/23	04/19/2023	7057	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	1	3,785.18	3,785.18
04/23	04/19/2023	7957		ENTERPRISE FLEET LEA	FBN4721554	2	2,081.62	2,081.6
	04/19/2023		ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA			,	-
04/23					FBN4721554	3	238.65	238.6
04/23	04/19/2023		ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	4	238.65	238.6
04/23	04/19/2023	7957		ENTERPRISE FLEET LEA	FBN4721554	5	497.19	497.1
04/23	04/19/2023	7957		ENTERPRISE FLEET LEA	FBN4721554	6	742.54	742.5
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	7	307.12	307.1
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	8	307.12	307.1
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	9	382.96	382.9
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	10	382.95	382.9
04/23	04/19/2023	7957	ENTERPRISE FLEET MA	ENTERPRISE FLEET LEA	FBN4721554	11	710.20	710.2
To	otal 7957:						_	9,674.18
7958								
04/23	04/19/2023	7958	ACCESS SYSTEMS	TONER-MUSEUM	INV1356319	1	10.99	10.9
To	otal 7958:						_	10.99
7959								
04/23	04/19/2023	7959	ALLEGIANT OIL LLC	DIESEL FUEL - UWP	314905	1	633.70	633.7
04/23	04/19/2023		ALLEGIANT OIL LLC	GASOLINE - UWP	314908	1	1,271.88	1,271.8
04/23	04/19/2023		ALLEGIANT OIL LLC	GASOLINE - UWP	315618	1	1,370.28	1,370.2
			ALLEGIANT OIL LLC			1	•	
04/23	04/19/2023			DIESEL FUEL - UWP	316267		1,071.17	1,071.1
04/23	04/19/2023 04/19/2023		ALLEGIANT OIL LLC ALLEGIANT OIL LLC	GASOLINE - UWP GASOLINE	316270 316936	1 1	1,624.47	1,624.4 2,812.0
04/23							2,812.05	

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
04/23	04/19/2023	7959	ALLEGIANT OIL LLC	DIESEL FUEL - UWP	316941	1	796.05	796.05
04/23	04/19/2023	7959	ALLEGIANT OIL LLC	GASOLINE - UWP	316943	1	845.51	845.51
To	otal 7959:						_	10,425.11
7960								
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	57983	1	18.80	18.80
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	58008	1	5.48	5.48
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	58016	1	233.00	233.00
04/23	04/19/2023	7960	ANDERSON WELDING &	REPAIRS-SEWER DEPT	58062	1	21.57	21.57
To	otal 7960:						_	278.85
7961								
04/23	04/19/2023	7961	ARROYO, PILAR	MEAL	03.28.2023	1	31.20	31.20
To	otal 7961:							31.20
7962							_	
04/23	04/19/2023	7962	AXLEY BRYNELSON LLP	GENERAL ATTORNEY	925739	1	2,193.50	2,193.50
04/23	04/19/2023		AXLEY BRYNELSON LLP	LEGAL SERVICES TIF6	925739	2	107.40	107.40
04/23	04/19/2023		AXLEY BRYNELSON LLP	LEGAL SERVICES TIF7	925739	3	779.40	779.40
04/23	04/19/2023		AXLEY BRYNELSON LLP	LEGAL SERVICES WATE	925739	4	974.80	974.80
04/23	04/19/2023		AXLEY BRYNELSON LLP	LEGAL SERVICES SEWE	925739	5	330.20	330.20
04/23	04/19/2023		AXLEY BRYNELSON LLP	LEGAL SERVICES SEWE	925739	6	2,063.40	2,063.40
04/23	04/19/2023		AXLEY BRYNELSON LLP	LEGAL SERVICES-AIRPO	925739	7	35.80	35.80
To	otal 7962:						-	6,484.50
7963							-	
04/23	04/19/2023	7963	BADGER WELDING SUPP	MONTHLY CYLINDER RE	3762221	1	15.81	15.81
04/23	04/19/2023		BADGER WELDING SUPP		3762222	1	6.20	6.20
To	otal 7963:						-	22.01
7964							-	
04/23	04/19/2023	7964	BAKER IRON WORKS LL	LOADER PLOW	87061	1	143.50	143.50
04/23	04/19/2023		BAKER IRON WORKS LL	OE GRAY HVAC	87062	1	228.53	228.53
04/23	04/19/2023		BAKER IRON WORKS LL	SENIOR CENTER CHARG		1	140.44	140.44
04/23	04/19/2023		BAKER IRON WORKS LL	SENIOR CENTER CHARG		1	424.66	424.66
04/23	04/19/2023		BAKER IRON WORKS LL	VEHICLE	87066	1	658.18	658.18
04/23	04/19/2023		BAKER IRON WORKS LL	VEHICLE	87066	2	658.17	658.17
To	otal 7964:						-	2,253.48
7965							-	
04/23	04/19/2023	7965	CAPITAL SANITARY SUP	JANITORIAL SUPPLIES	D134844	1	60.04	60.04
04/23			CAPITAL SANITARY SUP	BUILDINGS AND GROUN	D134845	1	216.86	216.86
04/23	04/19/2023		CAPITAL SANITARY SUP	CUSTODIAL SUPPLIES	D135061	1	58.80	58.80
To	otal 7965:						-	335.70
7966							-	
	04/19/2023		CDW GOVERNMENT INC	LAPTOP FOR COUNCIL C	11000107	1	797.42	797.42

GI Check Check Description Invoice Check Invoice Invoice Period Issue Date Number Payee Number Seq Amount Amount Total 7966: 797.42 7967 04/23 04/19/2023 7967 CLEAR REFLECTIONS PROFESSIONAL SERVIC 04.15.2023 1.400.00 1.400.00 Total 7967: 1,400.00 7968 DOOR ACCESS PROBLE 04/23 04/19/2023 7968 COMELEC SERVICES IN 0478205-IN 403.25 403.25 Total 7968: 403.25 7969 04/23 04/19/2023 7969 DEWEYS TIRE REPAIR **CEMETERY CHARGES** 17324 64.00 64.00 Total 7969: 64.00 7970 7970 DUBUQUE HOSE & HYDR SUPPLIES/REPAIRS-WW 133.44 04/23 04/19/2023 756336 133.44 1 04/23 04/19/2023 7970 DUBUQUE HOSE & HYDR SUPPLIES/REPAIRS-WW 756634 134.05 134.05 Total 7970: 267.49 7971 04/23 04/19/2023 7971 EVOQUA WATER TECHN **SEAL-SEWER DEPT** 905820652 1,835.00 1,835.00 Total 7971: 1,835.00 7972 04/23 04/19/2023 7972 GRANEY ELECTRIC LLC SHOP ELEC WORK 2351 1 1,828.09 1,828.09 Total 7972: 1,828.09 7973 04/23 04/19/2023 7973 HAWKINS INC CHEMICALS-WWTP CHL 6447644 1 110.00 110.00 04/23 04/19/2023 7973 HAWKINS INC **CHEMICALS-WWTP SO2** 6447644 2 30.00 30.00 Total 7973: 140.00 7974 7974 J&R RENTAL **BARRICADES** 86196 223.97 04/23 04/19/2023 1 223 97 Total 7974: 223.97 7975 04/23 04/19/2023 7975 J & R SUPPLY INC STOP BOX ENLARGED B 2303459-IN 1 24.70 24.70 04/23 04/19/2023 7975 J & R SUPPLY INC **6" PLASTIC WATER MAIN** 2303528-IN 310.00 310.00 04/23 04/19/2023 7975 J & R SUPPLY INC 4" PLASTIC WATER MAIN 2303528-IN 2 150.00 150.00 04/23 04/19/2023 7975 J & R SUPPLY INC WATER SUPPLIES 2303556-IN 1 60.75 60.75 04/23 04/19/2023 7975 J & R SUPPLY INC SEWER DEPT CHARGES 2303556-IN 2 60.75 60.75 04/23 04/19/2023 7975 J & R SUPPLY INC 1" COMP TEE 2304207-IN 72.00 72.00 1 04/23 04/19/2023 7975 J & R SUPPLY INC 2304207-IN 2 44.00 44.00 **BRASS SCREW** 04/19/2023 7975 J & R SUPPLY INC **6" PLASTIC WATER MAIN** 2304378-IN 335.00 335.00 04/23

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
To	otal 7975:						-	1,057.20
7976 04/23 04/23	04/19/2023 04/19/2023	7976 7976	JOES OVERHEAD DOOR JOES OVERHEAD DOOR	TROUBLESHOOT GARAG MOVE GARAGE DOOR S	4.12.2023 4.14.2023	1 1	300.00 222.00	300.00 222.00
To	otal 7976:						-	522.00
7977							-	
04/23	04/19/2023	7977	KEMIRA WATER SOLUTI	PHOSPHORUS REMOVAL	9017788002	1	11,819.20	11,819.20
To	otal 7977:						-	11,819.20
7978 04/23	04/19/2023	7978	LV LABS WW LLC	LAB TESTING - WWTP	1364	1	1,934.71	1,934.71
To	otal 7978:							1,934.71
7979								
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	1	14.63	14.63
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	2	35.93	35.93
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	3	70.72	70.72
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	4	68.96	68.96
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	5	84.96	84.96
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	6	36.91	36.91
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	7	1,032.58	1,032.58
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	8	85.33	85.33
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	9	41.23	41.23
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	10	36.97	36.97
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	11	201.80	201.80
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	12	4.92	4.92
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	13	20.16	20.16
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	14	52.44	52.44
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	15	41.04	41.04
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	16	200.16	200.16
04/23	04/19/2023	7979	MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	17	41.18	41.18
04/23	04/19/2023		MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	18	89.33	89.33
04/23	04/19/2023		MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	19 20	69.91	69.91
04/23 04/23	04/19/2023 04/19/2023		MADISON NATIONAL LIF	DISABILITY INSURANCE- DISABILITY INSURANCE-	019686 MAY 019686 MAY	20 21	3.91 58.05	3.91 58.05
04/23	04/19/2023		MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	22	164.16	164.16
04/23	04/19/2023		MADISON NATIONAL LIF	DISABILITY INSURANCE-	019686 MAY	23	228.91	228.91
To	otal 7979:							2,684.19
7980							-	
04/23	04/19/2023	7980	MILESTONE MATERIALS	GRAVEL	3500335777	1	430.76	430.76
To	otal 7980:						-	430.76
7981 04/23	04/19/2023	7981	MONONA PLBG & FIRE P	SPRINKLER	2302484	1	365.00	365.00
т.	otal 7981:						-	365.00

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
7982	04/40/2022	7002	MONDOE TRUCK FOLUR	TRUCK #230	E494220	4	206 27	206.27
04/23	04/19/2023	1902	MONROE TRUCK EQUIP	1ROCK #230	5484229	1	396.27	396.27
To	otal 7982:						-	396.27
7983 04/23	04/19/2023	7083	NAPA AUTO PARTS-PLAT	SEWER - VEHICLES	895611	1	95.18	95.18
04/23	04/19/2023		NAPA AUTO PARTS-PLAT	WATER - VEHICLES	895888	1	47.70	47.70
04/23	04/19/2023		NAPA AUTO PARTS-PLAT	SEWER - VEHICLES	895888	2	47.70 47.69	47.70 47.69
04/23	04/19/2023		NAPA AUTO PARTS-PLAT	SHOP	895918	1	52.15	52.15
			NAPA AUTO PARTS-PLAT					
04/23	04/19/2023			SHOP	895919	1	46.99	46.99
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	SEWER - VEHICLES WWTP SUPPLIES	896169	1	26.97	26.97
04/23	04/19/2023	7983	NAPA AUTO PARTS-PLAT	WWIP SUPPLIES	896191	1	11.49	11.49
To	otal 7983:						-	328.17
7984								
04/23	04/19/2023		NCL OF WISCONSIN INC	WWTP LAB	485739	1	650.87	650.87
04/23	04/19/2023	7984	NCL OF WISCONSIN INC	WWTP LAB	486003	1	108.46	108.46
To	otal 7984:						-	759.33
7985								
04/23	04/19/2023	7985	OREILLY AUTO PARTS	WATER TRUCK REPAIR	2324-152696	1	221.59	221.59
04/23	04/19/2023	7985	OREILLY AUTO PARTS	WATER TRUCK REPAIR	2324-152969	1	221.59	221.59
To	otal 7985:						_	443.18
7986								
04/23	04/19/2023	7986	OYEN PLUMBING & HEAT	SENIOR CENTER HVAC S	5347	1	4,950.00	4,950.00
04/23	04/19/2023		OYEN PLUMBING & HEAT		5377	1	523.98	523.98
To	otal 7986:						-	5,473.98
7007							-	
7987 04/23	04/19/2023	7007	PARTS AUTHORITY	SHOP	431-373713	1	288.61	288.61
						1		
04/23 04/23	04/19/2023 04/19/2023		PARTS AUTHORITY PARTS AUTHORITY	TRUCK #44 TRUCK #45	431-376345 445-215124	1 1	133.61 67.73	133.61 67.73
04/23	04/19/2023	7307	TARTOAUTHORITT	110010 #45	440-210124	'	-	07.75
To	otal 7987:						-	489.95
7988								
04/23	04/19/2023		RICOH USA INC	COPIES-COUNCIL	1096652567	1	18.00	18.00
04/23	04/19/2023		RICOH USA INC	COPIES-COUNCIL	5066868069	1	180.03	180.03
04/23	04/19/2023	7988	RICOH USA INC	COPIES-CLERK	5066868069	2	180.02	180.02
To	otal 7988:						-	378.05
7989								
04/23	04/19/2023	7989	SCHMITZ JANITORIAL SU	SUPPLIES-SEWER DEPT	11929	1	127.90	127.90
To	otal 7989:							127.90
7990							-	
04/23	04/19/2023	7990	SHERWIN INDUSTRIES I	PAINT	SS097349	1	864.80	864.80

GI Check Check Check Description Invoice Invoice Invoice Period Issue Date Number Payee Number Sea Amount Amount Total 7990: 864.80 7991 04/23 04/19/2023 7991 SOUTHWEST OPPORTU JANITORIAL SERVICES-P 25724 2.068.00 2.068.00 Total 7991: 2.068.00 7992 04/23 04/19/2023 7992 TC NETWORKS CAMERA LICENSE 21767 90.00 90.00 1 Total 7992: 90.00 7993 04/19/2023 7993 TIFCO INDUSTRIES SHOP SUPPLIES 71854956 129.95 129.95 04/23 Total 7993: 129.95 7994 04/23 04/19/2023 TRICOM INC/RADIO SHA SHOP 10433892 39.99 7994 1 39.99 04/19/2023 04/23 7994 TRICOM INC/RADIO SHA FD - UPS SHIPPING 10435692 15.59 1 15.59 04/23 04/19/2023 7994 TRICOM INC/RADIO SHA UPS SHIPPING-WATER D 10435751 55.30 55.30 Total 7994: 110.88 7995 CARDMEMBER SERVICE 04/23 04/19/2023 **COMMUNITY PLANNING** 4.03.2023 1 15.00 15.00 М 04/23 04/19/2023 7995 CARDMEMBER SERVICE LIBRARY CHARGES 4.03.2023 2 30.00 30.00 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE LIBRARY CHARGES 4.03.2023 3 499.00 499.00 M LIBRARY CHARGES 04/23 04/19/2023 7995 CARDMEMBER SERVICE 4.03.2023 101 58 101.58 4 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE LIBRARY CHARGES 5 17 45 17 45 4.03.2023 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE FIRE DEPT CHARGES 6 19.89 4.03.2023 19.89 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE FIRE DEPT CHARGES 4.03.2023 7 70.99 70.99 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE FIRE DEPT CHARGES 4.03.2023 8 74.98 74.98 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE STREET DEPT CHARGES 4.03.2023 9 44.99 44.99 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE STREET DEPT CHARGES 4.03.2023 10 422.10 422.10 M CARDMEMBER SERVICE 04/23 04/19/2023 7995 STREET DEPT CHARGES 4.03.2023 11 89 98 89.98 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE STREET DEPT CHARGES 4.03.2023 12 146.94 146.94 М 04/23 04/19/2023 7995 CARDMEMBER SERVICE SENIOR CENTER CHARG 4.03.2023 13 463.30 463.30 М 04/23 04/19/2023 7995 CARDMEMBER SERVICE SENIOR CENTER CHARG 4.03.2023 14 59.88 59.88 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE AIRPORT 4.03.2023 15 30.00 30.00 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 16 312 08 312 08 M MUSEUM CHARGES 04/23 04/19/2023 7995 CARDMEMBER SERVICE 4.03.2023 17 81.50 М 81.50 04/23 04/19/2023 7995 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 18 55.59 55.59 М 04/23 04/19/2023 7995 CARDMEMBER SERVICE PARKS CHARGE 4.03.2023 19 266.36 266.36 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE PARKS CHARGE 4.03.2023 20 1,101.11 1,101.11 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 21 2,424.00 2,424.00 M 04/23 04/19/2023 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 22 165 00 165.00 М 04/23 04/19/2023 7995 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 23 56.79 56.79 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 24 177.00 177.00 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE MUSEUM CHARGES 4.03.2023 25 636.87 636.87 M 04/23 04/19/2023 CARDMEMBER SERVICE **ELECTION CHARGES** 26 7995 4.03.2023 51.47 51.47 М 04/23 04/19/2023 CARDMEMBER SERVICE **CLERK CHARGES** 27 7995 4 03 2023 43 09 43 09 M 04/23 7995 CARDMEMBER SERVICE FINANCE CHARGES 28 04/19/2023 4.03.2023 519.72 519.72 M 04/23 04/19/2023 29 7995 CARDMEMBER SERVICE AIRPORT 4.03.2023 119.88 119.88 M 04/23 04/19/2023 7995 CARDMEMBER SERVICE FIRE DEPT CHARGES 4.03.2023 30 66.00 66.00 M

	GL Check Check Description Invoice Invoice Check						Check	02/11	
Period	Issue Date	Number	Payee	- ————————————————————————————————————	Number	Seq	Amount	Amount	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MAINTENANCE CHARGE	4.03.2023	31	50.34	50.34	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	MAINTENANCE CHARGE	4.03.2023	32	461.71	461.71	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	SENIOR CENTER REMO	4.03.2023	33	1,161.71	1,161.71	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	RECREATION CHARGES	4.03.2023	34	21.09	21.09	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	ELECTION CHARGES	4.03.2023	35	34.16	34.16	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	ADMINISTRATION CHAR	4.03.2023	36	145.10	145.10	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	FIRE FACILITY	4.03.2023	37	51.70	51.70	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	CITY MANAGER CHARGE	4.03.2023	38	670.76	670.76	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	CITY MANAGER SUNSHI	4.03.2023	39	35.56	35.56	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	POLICE DEPT CHARGES	4.03.2023	40	11.75	11.75	
04/23	04/19/2023		CARDMEMBER SERVICE	POLICE DEPT CHARGES	4.03.2023	41	2,604.80	2,604.80	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	POLICE DEPT CHARGES	4.03.2023	42	210.99	210.99	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	43	106.94	106.94	
04/23	04/19/2023	7995	CARDMEMBER SERVICE	LIBRARY CHARGES	4.03.2023	44	260.20	260.20	IVI
To	otal 7995:						-	13,989.35	
75399 04/23	04/10/2023	75399	SYN-TECH SYSTEMS INC	FUELMASTER	260923	1	145.00-	145.00-	V
To	otal 75399:						-	145.00-	
75512 04/23	04/07/2023	75512	COLLECTION SERVICES	CHILD SUPPORT CHILD	PR0401231	1	214.76	214.76	
To	otal 75512:						-	214.76	
75549							-		
75513 04/23	04/07/2023	75513	MISSIONSQUARE	ICMA DEFERRED COMP	PR0401231	1	25.00	25.00	
To	otal 75513:						-	25.00	
75514									
04/23	04/07/2023	75514	WPPA/LEER	UNION DUES POLICE U	PR0401231	1	516.00	516.00	
To	otal 75514:						-	516.00	
75515 04/23	04/19/2023	75515	A-C SERVICE PLATTEVIL	REPAIR WWTP EQUIPME	4/11/2023	1	881.00	881.00	
		75515	A-C GERVICET EATTEVIE	KEI AIIK WWII EQUII ME	4/11/2023	'	-		
IC	otal 75515:						-	881.00	
75516									
04/23	04/19/2023		ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-EME		1	10.56	10.56	
04/23	04/19/2023		ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-STR	4.19.2023	2	7,222.56	7,222.56	
04/23 04/23	04/19/2023 04/19/2023		ALLIANT ENERGY/WP&L ALLIANT ENERGY/WP&L	ELECTRIC/HEATING-STO ELECTRIC/HEATING-PAR	4.19.2023 4.19.2023	3 4	39.34 360.17	39.34 360.17	
To	otal 75516:						-	7,632.63	
75517							-		
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	TRAUMA SHEERS	14VR-66YM-	1	99.95	99.95	
04/23	04/19/2023		AMAZON CAPITAL SERVI	OFFICE SUPPLIES	1FVJ-X3C3-1	1	14.31	14.31	
04/23	04/19/2023		AMAZON CAPITAL SERVI	STREAMLIGHTS	1VPT-JMFQ-	1	1,113.60	1,113.60	
04/23	04/19/2023		AMAZON CAPITAL SERVI	BATTERIES	1WWT-JLPY-	1	18.59	18.59	
04/23	04/19/2023	75517	AMAZON CAPITAL SERVI	SHOE COVERS	1XKT-4CM7-	1	35.98	35.98	

GI Check Check Description Check Invoice Invoice Invoice Period Issue Date Number Payee Number Seq Amount Amount Total 75517: 1,282.43 75518 04/23 04/19/2023 75518 AT&T MOBILITY POLICE-TELEPHONE 2872872010 1 784.34 784.34 04/23 04/19/2023 75518 AT&T MOBILITY FIRE - CELLULAR 2873130488 159.46 159.46 Total 75518: 943.80 75519 04/23 04/19/2023 75519 BAKER & TAYLOR ADULT FICTION 2037419682 16.82 1 16.82 04/23 04/19/2023 75519 **BAKER & TAYLOR** ADULT FICTION 2037419683 1 33.90 33.90 04/23 04/19/2023 75519 **BAKER & TAYLOR** ADULT FICTION 2037419684 68.95 68.95 1 04/23 04/19/2023 75519 **BAKER & TAYLOR** ADULT FICTION 2037419685 39.31 39.31 04/23 04/19/2023 75519 **BAKER & TAYLOR** ADULT NON-FICTION 2037419686 170.91 170.91 04/23 04/19/2023 75519 **BAKER & TAYLOR** CHILDREN'S BOOKS 2037436619 24.11 24.11 04/23 04/19/2023 75519 BAKER & TAYLOR **ADULT FICTION** 3279669 15.72-15.72-Total 75519: 338.28 75520 04/19/2023 75520 CENTURYLINK 04/23 ADMIN PHONE CHARGE 4/3/2023 263.26 263.26 1 04/23 04/19/2023 75520 CENTURYLINK POLICE DEPT CHARGES 639.37 4/3/2023 2 639.37 04/23 04/19/2023 75520 CENTURYLINK MUSEUM DEPT PHONE C 4/3/2023 3 63.84 63.84 04/23 04/19/2023 75520 CENTURYLINK LIBRARY PHONE CHARG 4/3/2023 4 34.47 34.47 04/23 04/19/2023 75520 **CENTURYLINK** AIRPORT PHONE CHARG 4/3/2023 5 243.68 243.68 04/23 04/19/2023 **CENTURYLINK** WATER DEPT PHONE CH 288.08 75520 4/3/2023 6 288.08 04/23 04/19/2023 75520 CENTURYLINK SEWER DEPT PHONE CH 4/3/2023 215.56 215.56 Total 75520: 1,748.26 75521 04/23 04/19/2023 75521 CINTAS CORPORATION # PROFESSIONAL SERVIC 4151407699 1 90.40 90.40 Total 75521: 90.40 75522 75522 COMELEC INTERNET SE FD TOWER RENT FOR R 04/23 04/19/2023 14716 500.00 500.00 Total 75522: 500.00 75523 04/23 04/19/2023 75523 COMMUNICATIONS ENGI ANNUAL FIRE ALARM INS 400389 1,155.00 1.155.00 Total 75523: 1,155.00 75524 04/23 04/19/2023 75524 CORE & MAIN LP 6" X 25" SLEEVE S605289 352.44 352.44 Total 75524: 352.44 75525 04/23 04/19/2023 75525 DELTA DENTAL OF WISC **DENTAL INSURANCE-CIT** 1943202 40.14 40.14 1 04/23 04/19/2023 75525 **DELTA DENTAL OF WISC DENTAL INSURANCE-CO** 2 124.41 1943202 124.41 04/23 04/19/2023 75525 **DELTA DENTAL OF WISC DENTAL INSURANCE-CIT** 1943202 176.55 176.55 3 04/19/2023 75525 DELTA DENTAL OF WISC 04/23 DENTAL INSURANCE-AD 1943202 4 194.96 194.96

GL	Check	Check		Description	Invoice	Invoice	Invoice	Check
Period	Issue Date	Number	Payee	Description	Number	Seq	Amount	Amount
						· — ·		
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-FIN	1943202	5	222.72	222.72
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-PO	1943202	6	2,406.65	2,406.65
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-FIR	1943202	7	160.51	160.51
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-BL	1943202	8	69.52	69.52
04/23	04/19/2023	75525	DELTA DENTAL OF WISC DELTA DENTAL OF WISC	DENTAL INSURANCE ST	1943202	9	57.51 538.62	57.51
04/23 04/23	04/19/2023 04/19/2023	75525 75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-ST DENTAL INSURANCE-STA	1943202 1943202	10 11	12.44	538.62 12.44
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-STA	1943202	12	40.98	40.98
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-RE	1943202	13	192.84	192.84
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CE	1943202	14	67.20	67.20
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-LIB	1943202	15	375.23	375.23
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-MU	1943202	16	69.52	69.52
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-PA	1943202	17	138.11	138.11
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-RE	1943202	18	139.04	139.04
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-PO	1943202	19	3.61	3.61
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CO	1943202	20	124.41	124.41
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-WA	1943202	21	414.42	414.42
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-SE	1943202	22	718.09	718.09
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-EM	1943202	23	884.90	884.90
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	VISION INSURANCE PRE	1943202	24	448.63	448.63
04/23	04/19/2023	75525	DELTA DENTAL OF WISC	DENTAL INSURANCE-CO	1943203	1	79.00	79.00
To	otal 75525:						-	7,700.01
75526								
04/23	04/19/2023	75526	DOMINION VOTING SYST	ICE ANNUAL LICENSE	DVS147994	1	939.36	939.36
To	otal 75526:						-	939.36
75527								
04/23	04/19/2023	75527	EASTMAN CARTWRIGHT	SENIOR CENTER REMO	4530	1	126.88	126.88
04/23	04/19/2023	75527	EASTMAN CARTWRIGHT	SENIOR CENTER REMO	4543	1	27.84	27.84
To	otal 75527:							154.72
							=	
75528	04/40/2022	75500	EULEDO INIVESTMENT D	MANACEMENT EEEC CE	04 03 3033	1	0.21	0.21
04/23 04/23	04/19/2023 04/19/2023		EHLERS INVESTMENT P EHLERS INVESTMENT P	MANAGEMENT FEES-CE MANAGEMENT FEES-WA	04.03.2023	1 2	9.31 19.35	9.31 19.35
	04/19/2023		EHLERS INVESTMENT P	MANAGEMENT FEES-VA		3	63.43	63.43
04/20	04/10/2020	70020	LIELIO IIVILOTIMEIVI	WINTER CEMENT 1 LLO CL	04.00.2020	Ū	-	
To	otal 75528:						-	92.09
75529								
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	MAINT OF STRUCTURES-	3431242-00	1	259.80	259.80
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	BUILDINGS AND GROUN	3432305-03	1	230.16	230.16
04/23	04/19/2023		FIRST SUPPLY LLC-DUB	BUILDINGS AND GROUN	3435679-00	1	195.50	195.50
04/23	04/19/2023	75529	FIRST SUPPLY LLC-DUB	WATER SUPPLIES	3444089-00	1	22.20	22.20
To	otal 75529:						_	707.66
75530								
04/23	04/19/2023	75530	GFC LEASING WI	COPIER LEASE-WATER D	100813787	1	41.38	41.38
04/23	04/19/2023		GFC LEASING WI	COPIER LEASE-SEWER	100813787	2	41.38	41.38
To	otal 75530:						-	82.76

GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
75531								
04/23	04/19/2023	75531	GRANT CTY REGISTER O	RECORDING FEES	03.30.2023	1	90.00	90.00
To	otal 75531:						-	90.00
75532	04/40/2022	75500	CUNDEDOEN HEALTH O	DRUG & ALCOHOL TESTI	4 0492 04 06	4	105.00	105.00
04/23 04/23	04/19/2023 04/19/2023		GUNDERSEN HEALTH S GUNDERSEN HEALTH S	DRUG & ALCOHOL TESTI	4-0482 04.06 4-0482 04.06	1 2	105.00 17.50	105.00 17.50
04/23	04/19/2023		GUNDERSEN HEALTH S	DRUG & ALCOHOL TESTI	4-0482 04.06	3	17.50	17.50
04/23	04/19/2023		GUNDERSEN HEALTH S	NEW HIRE DRUG & ALCO	4-0482 04.06	4	35.00	35.00
To	otal 75532:						-	175.00
5533							-	
04/23	04/19/2023	75533	INSPIRING COMMUNITY I	ANGIE WRIGHT FIRE STA	221	1	112.50	112.50
04/23	04/19/2023		INSPIRING COMMUNITY I		221	2	236.25	236.25
To	otal 75533:						-	348.75
5534							-	
04/23	04/19/2023	75534	LANGE ENTERPRISES IN	MATERIALS FOR SIGNS-	83240	1	1,573.20	1,573.20
To	otal 75534:						-	1,573.20
5535								
04/23	04/19/2023	75535	MARTIN EQUIPMENT-DU	PARTS	711252	1	22.51	22.5
To	otal 75535:						-	22.51
5536								
04/23	04/19/2023		MENARDS	BALLFIELD DRAG PARTS	13115	1	47.15	47.15
04/23	04/19/2023		MENARDS	ANTI SIEZE	13244	1	6.29	6.29
04/23	04/19/2023		MENARDS	WEED KILLER	13299	1	109.94	109.94
04/23	04/19/2023	75536		PAINT AND PAINTER	13556	1	89.86	89.86
04/23	04/19/2023		MENARDS	RETURN OF PAINT WAN	13559	1	35.98-	35.98
04/23	04/19/2023		MENARDS	PAINT	13560	1	11.70-	11.70
04/23 04/23	04/19/2023		MENARDS MENARDS	JACK SPRING SNAP	13599 13692	1	3.99 19.08	3.99 19.08
04/23	04/19/2023 04/19/2023		MENARDS	MAILBOX	14138	1	13.98	13.98
04/23	04/19/2023		MENARDS	REPAIR PARTS	14310	1	13.87	13.8
04/23	04/19/2023		MENARDS	SHOP DOOR	14439	1	289.00	289.00
To	otal 75536:						_	545.48
5537								
04/23	04/19/2023	75537	MIDWEST MOTOR SPOR	FIRE DEPT CHARGES	99045837	1	432.44	432.44
To	otal 75537:						-	432.44
5538								
04/23	04/19/2023		MORRISSEY PRINTING I	ELECTION SUPPLIES	58384	1	125.00	125.00
04/23	04/19/2023		MORRISSEY PRINTING I	ENVELOPES-WATER DE	58543	1	297.50	297.50
04/23	04/19/2023		MORRISSEY PRINTING I	ENVELOPES-SEWER DE	58543	2	297.50	297.50
04/23	04/19/2023		MORRISSEY PRINTING I	SEWER DEPT CHARGES	58602	1	22.50	22.50
04/23	04/19/2023	75538	MORRISSEY PRINTING I	WATER DEPT CHARGES	58602	2	22.50	22.50

Page: 11 Apr 20, 2023 11:02AM

To			Payee		Number	Seq	Amount	Amount
	otal 75538:						-	765.00
75539								
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	BUS 151 FASTENAL AD	1646 3/31/20	1	392.20	392.20
04/23	04/19/2023		PLATTEVILLE JOURNAL,	ADVERTISING-COMMUNI	1646 3/31/20	2	111.00	111.00
04/23	04/19/2023		PLATTEVILLE JOURNAL,	ADVERTISING-WEED CO	1646 3/31/20	3	177.60	177.60
04/23	04/19/2023		PLATTEVILLE JOURNAL,	ADVERTISING-ELECTION	1646 3/31/20	4	122.10	122.10
04/23	04/19/2023	75539	PLATTEVILLE JOURNAL,	ADVERTISING-ELECTION	1646 3/31/20	5	37.00	37.00
To	otal 75539:						-	839.90
75540								
04/23	04/19/2023	75540	PLATTEVILLE REGIONAL	CHAMBER DUES	1778	1	150.00	150.00
To	otal 75540:						_	150.00
75541								
04/23	04/19/2023	75541	RACOM CORPORATION	FD - PORTABLE RADIOS	DCSO18661	1	6,666.06	6,666.06
04/23	04/19/2023	75541	RACOM CORPORATION	FD - PORTABLE RADIOS	DCSO18662	1	11,390.88	11,390.88
04/23	04/19/2023	75541	RACOM CORPORATION	FD - PORTABLE RADIOS	DCSO18662	1	8,971.38	8,971.38
To	otal 75541:						_	27,028.32
5542								
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY CO	106842767	1	145.85-	145.85-
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY MA	106842767	2	36.46-	36.46
04/23	04/19/2023		RICOH USA INC	LEASE COPIER-CITY CLE	106842767	3	145.85-	145.85-
04/23	04/19/2023	75542		LEASE COPIER-ADMIN	106842767	4	36.47-	36.47
04/23	04/19/2023	75542		LEASE COPIER-CITY CO	107118295	1	196.71	196.71
04/23	04/19/2023		RICOH USA INC	LEASE COPIER-CITY MA	107118295	2	49.18	49.18
04/23	04/19/2023	75542	RICOH USA INC	LEASE COPIER-CITY CLE	107118295	3	49.18	49.18
04/23	04/19/2023	75542		LEASE COPIER-ADMIN	107118295	4	196.72	196.72
04/23	04/19/2023	75542	RICOH USA INC	FINANCE RICOH COPIER	107119255	1	239.79	239.79
04/23	04/19/2023	75542	RICOH USA INC	FINANCE RICOH COPIER	107119255	2	53.29	53.29
04/23	04/19/2023	75542	RICOH USA INC	FINANCE RICOH COPIER	107119255	3	239.78	239.78
To	otal 75542:						-	660.02
75543	0.4.4.0./0.000	75540	COENIG DIVERGENERO		04.04.0000	4	405.40	105.10
04/23 04/23	04/19/2023 04/19/2023		SCENIC RIVERS ENERG SCENIC RIVERS ENERG	ELECTRICITY-STREET LI ELECTRICITY-TRAIL LIGH		1 2	405.13 76.46	405.13 76.46
To	otal 75543:						-	481.59
'5544							-	
04/23	04/19/2023	75544	SCHMIDT ELECTRICAL C	WATER PLANT REPAIRS	4639	1	141.20	141.20
To	otal 75544:						_	141.20
75545								
04/23	04/19/2023	75545	SCOTT IMPLEMENT	SUPPLIES-CEMETERY	85813	1	256.76	256.76
To	otal 75545:							256.76

Citeux Issue Dates. 4/0/2023 - 4/19/2023 Apr 20, 2023 11.0								
GL Period	Check Issue Date	Check Number	Payee	Description	Invoice Number	Invoice Seq	Invoice Amount	Check Amount
75546								
75546 04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	1	3.77	3.77
			SECURIAN FINANCIAL G	LIFE INSURANCE PREMI				
04/23	04/19/2023	75546	SECURIAN FINANCIAL G		047102 MAY	2	7.06	7.06
04/23	04/19/2023	75546		LIFE INSURANCE PREMI	047102 MAY	3	14.49	14.49
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	4	18.70	18.70
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	5	11.83	11.83
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	6	14.26	14.26
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	7	155.33	155.33
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	8	15.27	15.27
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	9	26.60	26.60
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	10	41.88	41.88
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	11	.68	.68
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	12	12.28	12.28
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	13	6.68	6.68
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	14	4.10	4.10
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	15	100.42	100.42
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	16	8.50	8.50
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	17	12.31	12.31
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	18	26.57	26.57
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	19	30.42	30.42
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	20	1.58	1.58
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	21	38.84	38.84
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	22	102.72	102.72
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	23	108.33	108.33
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	24	183.93	183.93
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	25	482.48	482.48
04/23	04/19/2023	75546	SECURIAN FINANCIAL G	LIFE INSURANCE PREMI	047102 MAY	26	112.00	112.00
To	otal 75546:						-	1,541.03
75547							_	
75547	0.4/4.0/0.000	75547	CLIEDVAVINI VAVILLI IANAC	CURRUES CENTOR CENT	4040 7	4	400.07	400.07
04/23	04/19/2023	75547		SUPPLIES-SENIOR CENT		1	102.37	102.37
04/23	04/19/2023	75547	SHERWIN WILLIAMS	SUPPLIES-SENIOR CENT	4919-5	1	411.75	411.75
To	otal 75547:						-	514.12
75548								
04/23	04/19/2023	75548	SOUTHWEST WI LIBRAR	DIGITAL MEDIA BUYING	1036	1	6,216.18	6,216.18
04/23	04/19/2023	75548	SOUTHWEST WI LIBRAR	PROFESSIONAL SERVIC	1036	2	25,655.49	25,655.49
To	otal 75548:						_	31,871.67
75549								
04/23	04/19/2023	755/0	SPEE-DEE	WWTP SUPPLIES	787162	1	18.37	18.37
04/23	04/19/2023		SPEE-DEE	WWTP SUPPLIES	789168	1	18.37	18.37
	otal 75549:						-	36.74
	J. 10070.						-	
75550 04/23	04/19/2023	75550	THE SHOE BOX	PAUL BOOTS	84721	1	153.00	153.00
		, 5550	e once box		J-1121		-	
Г	otal 75550:						-	153.00
75551								
04/23	04/19/2023	75551	THERMO FISHER SCIEN	LAB SERVICE	460660	1	1,424.37	1,424.37
04/23	04/19/2023		THERMO FISHER SCIEN	LAB SERVICE - TRAVEL	460660	2	624.03	624.03

Total 75551: 75552 04/23 04/19/2023 75552 TIMMERMAN, MIKE MIKE BOOTS Total 75552: 75553 04/23 04/19/2023 75553 TWIN OAKS LUMBER LLC SENIOR CENTOtal 75553: 75554 04/23 04/19/2023 75554 US CELLULAR CELL PHONE O4/23 04/19/2023 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75555: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE Total 755555:	2,048.40
04/23 04/19/2023 75552 TIMMERMAN, MIKE MIKE BOOTS Total 75552: 75553 TOtal 75553: 75554 TOtal 75553: 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: TOtal 75554: 75555 VON GLAHN AUTO SALE FD - VEHICLE	
75553 04/23 04/19/2023 75553 TWIN OAKS LUMBER LLC SENIOR CEN Total 75553: 75554 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	S 1/15/2023 1 269.99 269.99
04/23 04/19/2023 75553 TWIN OAKS LUMBER LLC SENIOR CENT Total 75553: 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	269.99
04/23 04/19/2023 75553 TWIN OAKS LUMBER LLC SENIOR CENT Total 75553: 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: Total 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	
75554 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	NTER CROW 182088 1 853.70 853.70
04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	853.70
04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	
04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	E CHARGES- 0572956228 1 226.05 226.05
04/23 04/19/2023 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	E CHARGES- 0572956228 2 226.05 226.05
04/23 04/19/2023 75554 US CELLULAR CELL PHONE 04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	E CHARGES- 0572956228 3 31.09 31.09
04/23 04/19/2023 75554 US CELLULAR CELL PHONE Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	
Total 75554: 75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	
75555 04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	E CHGSSTR 0572956228 6 172.83 172.83
04/23 04/19/2023 75555 VON GLAHN AUTO SALE FD - VEHICLE	752.09
Total 75555:	E REPAIR 24714 1 151.55 151.55
10tal 75555.	151.55
7	
75556 04/23 04/19/2023 75556 WALMART COMMUNITY/ CITY COUNC	CIL SUPPLIES 4.11.2023 1 30.72 30.72
Total 75556:	30.72
75557	
04/23 04/19/2023 75557 WI DEPT OF JUSTICE TIME SYSTEM	M 455TIME-000 1 2,282.25 2,282.25
Total 75557:	2,282.25
75558	
04/23 04/19/2023 75558 WI DEPT OF TRANSPORT BUSINESS 15	51 HSIP - PA 395-0000030 1 225.46 225.46
04/23 04/19/2023 75558 WI DEPT OF TRANSPORT BUSINESS 15	•
04/23 04/19/2023 75558 WI DEPT OF TRANSPORT BUSINESS 15	
04/23 04/19/2023 75558 WI DEPT OF TRANSPORT BUSINESS 15	51 HSIP - NO 395-0000030 4 5.33 5.33
Total 75558:	12,946.93
Grand Totals:	



BOARDS AND COMMISSIONS VACANCIES LIST

As of 4/12/23

Board of Appeals (ET Zoning) (partial term ending 4/1/24)

Board of Appeals (ET Zoning) (partial term ending 4/1/25)

Board of Appeals (ET Zoning) Alternate (partial term ending 4/1/25)

Board of Appeals (Zoning) Alternate (partial term ending 10/1/24)

Board of Appeals (Zoning) Alternate (partial term ending 10/1/25)

Board of Review (5 year term ending after 2027 meeting)

Broske Center Care Committee (5 – non-expiring terms)

Historic Preservation Commission (partial term ending 5/1/24)

Historic Preservation Commission - Alternate (partial term ending 5/1/24)

Library Board (3 year terms ending 5/1/26)

Plan Commission (partial term ending 5/1/24)

Plan Commission (2 - 3 year terms ending 5/1/26)

Police & Fire Commission (5 year term ending 5/1/28)

Public Transportation Committee (3 year term ending 9/1/25)

Redevelopment Authority Board (partial term ending 7/1/23)

Redevelopment Authority Board (2 – partial terms ending 7/1/27)

Taskforce on Inclusion, Diversity, and Equity (TIDE) (3 terms non-expiring)

UPCOMING VACANCIES - June 2023

Parks, Forestry, & Recreation Committee (2 – 3 year terms ending 6/1/26

Application forms for the City of Platteville Boards and Commissions are available in the City Clerk's office in the Municipal Building at 75 N Bonson Street, Platteville, WI or online at www.platteville.org. Please note that most positions require City residency.

PROPOSED LICENSES

April 25, 2023

Change of Agent for "Class A" Combination License

- Kwik Trip Inc, Platteville (Edmund J Hill, Agent), for premises at 430 S Water Street (Kwik Trip 795)

One Year Operator License

- none

Two Year Operator License

- Maya J Harvey
- Kerstin R Miller
- Lindsey A Walton
- Andrew S Weber
- Meghan C Wellnitz-Trejo

"Class A" Combination License contingent upon passing all inspections

- Lisa Haas, Platteville, WI, for Premises at 130 Market Street (B.S.R. Boutique & Novelties)

City of Platteville Street / Alley Closing Permit Application Form

Describe Street / Alley to be Closed:
Second Street from Main Street to Furnace Street
Mineral Street from Oak Street to third Street
Date(s): Beginning Time: Ending Time: Saturday, July 15, 2023 8:00 AM Midnight
List Names <u>and</u> Street Addresses of all Persons/Businesses Affected Below: Approval
Red N Deb's 60 E. Mineral St. Deb Chandler @ or N
VFW 110. E. Mineral St. Tuna Lynch & or N Players SD E. Mineral St. Vor N
The Commanderic GS N. 2 H St. St. Or N
Mick's Bar 74 N. 2 M St. 200 N. 2 M St. 200 N
The Public House 30 N. 2nd St. (2) or N
CharBar 60 N. 2 nd Str Frankild (Y) or N
AC Motors 150 M. 214 St. Stay (finely) or N
NOTE: Attach additional sheets if necessary or use back side
Name of Requestor: Patteville Regional Chamber - Wagne Wodnez
Address of Requestor: 275 W. Bus: Huy 151, Platterille, WI 53818 Requestor's Contact Number: 608-348-8888 Alrector@platterille.com
Requestor's Contact Number: 608-348-8888 Alrectore platterille.com
Reason for Request: Annual Southwest Music Festival
NOTE: Call the City Garage at 348-8828 to request barricades if needed. If City barricades are to be used, they must be picked up no later than 2 PM on the Thursday before usage! City personnel will not be called in on Friday, Saturday or Sunday if this is forgotten.
I affirm that I have checked with all of the persons that are affected by this requested street closing. The objections are listed on an attached sheet.
Signature: Wayne Mitay, Exec Director Date: april 5, 2023 Do Not Write Below this Line - For Office Use Only
Police Department Review: N#300
Street Department Review: N # 142
Common Council Review Date:
Decision: Approved or Denied
City Clerk: Date:

City of Platteville Street / Alley Closing Permit Application Form

Describe Stree	et / Alley to be Closed:		111111111111111111111111111111111111111
Date(s):		Beginning Time:	Ending Time:
List Names <u>an</u>	<u>d</u> Street Addresses of a	III Persons/Businesses Affected	Below: Approval
7 Hills	92 East Main	Sh Kark	Y or N
Budger Bar	35 N. 2 1 St.	Then Can	(Y) or N
The bym	75 N. 2nd St.	the m	(Y) or N
Owl Cafe	80 N. 24 Sh	George Bankie	lef (V) or N
Boondocks	70 N. 2 12 A.	Jary Uill	(Y) or N
Bestrose	Ten45 N. 2 2 5t.	2m	Y or N
		ditional sheets if necessary	or use back side
Name of Requ	iestor:	11/10 10 11 10 1 10 10 10 10 10 10 10 10 10	
Address of Re	questor:		
Requestor's C	ontact Number:		
Reason for Re	quest:		
must be	City Garage at 348-8828 picked up no later than y, Saturday or Sunday if	2 PM on the Thursday before usag	City barricades are to be used, they el City personnel will not be called in
	ave checked with all of th listed on an attached she	ne persons that are affected by this et.	requested street closing. The
Signature:		Date	
	Do Not Writ	e Below this Line – For Offic	re Use Only
Police Departm	THE RESERVE OF THE PARTY OF THE		
Street Departm	ent Review:		
Common Coun	cil Review Date:		
Decision:	Approved or	Denied	
City Clerk:		Date:	



April 5, 2023

Barb Daus, President City Council 75 N. Bonson Street Platteville, WI 53818

Re: Southwest Music Festival

Dear Ms. Daus:

The Platteville Regional Chamber has successfully hosted our Southwest Music Festival as part of our Hometown Festival Week for the past several years. Our Committee has been meeting to make plans for our 7th annual event on Saturday, July 15th, 2023 from 11 AM to midnight.

The basics of our event are very similar as they have been in the past. We wish to have open intoxicants within the fenced area and we are respectfully requesting that the City suspend the ordinance prohibiting open intoxicants on the street on Saturday, July 15th from 11AM to midnight. We anticipate approximately 1400 attendees and will make decisions regarding health and safety protocols if the situation dictates.

The location will be in the downtown area as shown on the attached map. We wish to close the following streets:

Second from Mineral to Furnace from 8AM to midnight; and

Second Street from Main to Mineral and Mineral Street from Oak to Third from 8 AM to midnight;

We are attaching the Street Closing Permit with the necessary signatures of those businesses/individuals within the fenced off area. Please be aware that the Southwest Auto Club has requested Main Street to be closed as it was last year for a Cruise In event.

There will be 3 entry locations to the area that will be staffed with volunteers. There will be one licensed bartender at each gate at all times to assist with identification checks and work in conjunction with the Platteville PD to ensure all bases are covered. Persons entering the area will pay a \$25 gate fee (\$20 in advance) and receive a wristband indicating the individual is of age. We will not allow outside vendors inside the fenced area. Staging for entainment will be in the fenced in area (live music until midnight).

Thank you for your consideration.

Sincerely,

Wayne Wodarz

Executive Director

We are asking for Second Street from Main Street to Mineral Street to be closed from 8 am to Midnight, as well as Mineral Street from Oak Street to Third Street. This year there will be more set up taking place with an additional stage being placed on the level near 60 N. Second.

Our plans are to open the gates at 11 am and have the entertainment begin at 11:30 am. We will publicize the street closing and parking opportunities for those impacted by the earlier street closure.



SAMETHEDATE hwest Music Fest uly 15, 2023



On Historic 2nd Street Platteville, WI

Two Stages! Four Bands!



Gates Open at 11:00 am

Tickets: \$25 at Gate or \$20 in Advance

(Advance Ticket Sales Begin May 1st)

Kick Off Stage

11:30 am - 1:30 pm

Stolen Grace

local band from Dubuque, IA

2:00 pm - 4:00 pm **Donice Morace**

2022 Emerging Artist of the Year at Texas Country Music Awards

Main Stage

North End of 2nd Street

5:00 pm - 8:00 pm Sonic Circus

featuring Platteville Native, Jeremy Martens

9:00 pm - Midnight **Madison County**

WAMI People's Choice Award Winner for 6 years

For more details and band biographies visit: www.platteville.com

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET						
COUNCIL SECTION: CONSIDERATION OF CONSENT AGENDA ITEM NUMBER: V.F.	TITLE: 2023 Arbor Day Proclamation	DATE: April 25, 2023 VOTE REQUIRED: Majority				
PREPARED BY: Bob Lowe, Parks and Recreation Director						

Description:

Annually the City of Platteville recognizes Arbor Day and the benefits the parks and other natural areas in the community provide to the citizens.

Attachments:

• Proclamation



PROCLAMATION 2023 ARBOR DAY

Whereas, natural areas, trees, and landscapes provide not only community beautification but also economic and environmental benefits; and

Whereas, trees provide many benefits to the community, including air purification, windbreaks, noise reduction, shade, and energy savings; and

Whereas, planting trees and maintaining older trees provides an opportunity for community interaction, volunteerism, economic development, and environmental conservation; and

Whereas, our efforts to improve the environment benefit present and future generations; and

Be it Therefore Resolved, I, Barbara Daus, Council President of the City of Platteville, State of Wisconsin do hereby proclaim April 28, 2023, as Arbor Day in the City of Platteville, and encourage all citizens to participate in appropriate activities and to take advantage of the benefits of the parks and other natural areas in our community.

In Witness Thereof, I have hereunto set my hand and caused the Seal of the City of Platteville to be affixed.

Barbara Daus, Common Council President

Signed this 25th day of April 2023 in the City of Platteville, Grant County, Wisconsin

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET

COUNCIL SECTION:

TITLE:

REPORTS

Board, Commission, and Committee Minutes

DATE:

April 25, 2023 VOTE REQUIRED:

None

ITEM NUMBER: VII.A.

PREPARED BY: Colette Steffen, Administrative Assistant II

Description:

Approved minutes from recent Boards and Commissions meetings. Council representative may give a summary of the meeting.

Budget/Fiscal Impact:

None

Attachments:

• Water and Sewer Commission

WATER & SEWER COMMISSION MINUTES WEDNESDAY, February 8, 2023 4:00 PM

Water and Sewer Commission President Martens called the Regular Meeting of the City of Platteville Water and Sewer Commission to order on Wednesday, February 8th at 4:00 pm.

W/S Commission members present: Cindy Martens, Ken Kilian, Eileen Nickels, Barb Daus, Chris Wilson (via Zoom)

W/S Commission members excused/absent: Brian Laufenberg, Jim Schneller

<u>City Staff present:</u> Public Works Director - Howard Crofoot, Interim City Manager/Administration Director - Nicola Maurer, Comptroller - Sheila Horner, Utility Superintendent- Irv Lupee

City Staff excused:

Public present:

Citizens' Comments -

- Crofoot & Maurer provided a brief verbal update on the recruitment process for the Utility Superintendent position
- Crofoot also provided a brief verbal update on the Jefferson St easements.

The Consent Agenda was presented for consideration. **Motion by Daus, second by Nickels to approve the Consent Calendar**: January 11, 2023 Regular Minutes, January 2023 Financial Reports, January Bank Reconciliation & Investments Reports, Payment of Bills (1/5/2023-2/3/2023), January Water Quality Report. **Motion carried.**

ACTION ITEMS:

None

ITEMS OF DISCUSSION:

Update on 275 Lily St/750 Valley Road – Crofoot reported that all documents have been signed and Lawinger's attorney will file them.

Emmi Roth Development Agreement Update – No updates at this time – Maurer will be contacting the City's attorney to draft a "Right of First Refusal".

MoundView Dairy pH Levels – Crofoot reported that he is working with the City's attorney to take legal action against MoundView Dairy due to the violations of the ordinance. There are no updates on what MoundView is doing on their end to correct the issue with the high pH levels.

Motion made by Daus second by Kilian to adjourn. Motion carried.

Meeting adjourned at 4:31 pm.

Respectfully Submitted, Sheila Horner Comptroller

WATER & SEWER COMMISSION MINUTES WEDNESDAY, March 8, 2023 4:00 PM

Water and Sewer Commission President Martens called the Regular Meeting of the City of Platteville Water and Sewer Commission to order on Wednesday, March 8th at 4:06 pm.

<u>W/S Commission members present:</u> Cindy Martens, Ken Kilian, Eileen Nickels, Barb Daus, Chris Wilson (via Zoom), Brian Laufenberg (via Zoom)

W/S Commission members excused/absent: Jim Schneller

<u>City Staff present:</u> Public Works Director - Howard Crofoot (via Zoom), Interim City Manager/Administration Director – Nicola Maurer, Comptroller – Sheila Horner, Utility Superintendent- Irv Lupee

City Staff excused:

Public present: Dan Dreessens, Delta 3 Engineering; Hannah Wieczorek & Brandon Jesse, UWP Students

Recognition of Superintendent Lupee for 19 ½ years of service to the City of Platteville

Citizens' Comments -

The Consent Agenda was presented for consideration. **Motion by Daus, second by Kilian to approve the Consent Calendar**: February 8, 2023 Regular Minutes, February 2023 Financial Reports, February Bank Reconciliation & Investments Reports, Payment of Bills (2/4/2023-3/3/2023), February Water Quality Report. **Motion carried.**

ACTION ITEMS:

Contract 1-23 Jefferson St Reconstruction – Crofoot reported that the lowest bid for the Water & Sewer portion for Contract 1-23 Jefferson Street Reconstruction was from Temperley Excavating Inc at \$393,872.50. This was \$90,927.50 under budget.

Motion made by Nickels, second by Daus to award the Water & Sewer portion of the bid for Contract 1-23 Jefferson St Reconstruction to Temperley Excavating Inc for \$393,872.50. Motion carried.

Contract 2-23 McGregor Plaza Sewer Replacement – Crofoot reported that the lowest bid for Contract 2-23 McGregor Plaza Sewer Replacement was from G-Pro Excavating LLC at \$271,061.40. This was \$288,938.60 under budget due to a redesign of the project.

Motion made by Daus, second by Kilian to award the bid for Contract 2-23 McGregor Plaza Sewer Replacement to G-Pro Excavating LLC for \$271,061.40. Motion carried with Laufenberg abstaining.

Consumer Confidence Report -2022 – Crofoot presented the Consumer Confidence Report for 2022 and addressed commission member questions.

Motion made by Daus, second by Nickels to allow staff to distribute the 2022 Consumer Confidence Report. Motion carried.

ITEMS OF DISCUSSION:

Update on Utility Superintendent Hiring – Maurer reported that there are two candidates that will be interviewed. Maurer also reported that Crofoot is working with a consultant that will provide support for the position during the transition.

Discussion of Possible Additional Projects – Crofoot presented three potential projects that could be completed due the Contracts 1-23 & 2-23 bids coming in under budget:

1. W. Adams St (Chestnut to N. Court). This would entail replacing water as well as sewer lines. The hydrant at the intersection of Adams and Court has a manufacturing date of 1939. It is expected that the water line dates

from the same period. Water mains and hydrants normally last 70-75 years. The sewer line is old and our cameras cannot scope the line due to offset joints. In 2021 we did water and sewer replacement on Commerce St with no sidewalk or curb & gutter replacement. Water & Sewer paid for the full paving. For W. Adams, we should coordinate with the Fire Station project and correct the crown. This would save funds for the building project. This project is estimated at \$321,195.00.

- 2. N. Court St (Adams to Lewis). This would complete the block around the new Fire Station. The rest of the streets have been reconstructed over the previous 20 years. The water and sewer dates from the late 70's or early 80's. This project is estimated at \$241,715.00.
- 3. Sewer easement between N. Chestnut and Elm St north of Lewis St. The maintenance crew has a hard time cleaning and televising this section. The lines on both sides have been replaced recently. This would be just a sewer project and the least cost of the three. This project is estimated at \$77,365.00.

Crofoot was seeking guidance on whether to pursue any of the potential projects. The commission advised Crofoot to move forward with Option #1

Emmi Roth Development Agreement Update – Maurer reported that Attorney Cole is drafting a "Right of First Refusal". After the draft is complete, it will be brought to the Common Council. If approved by the Council, it will then be delivered to Emmi Roth.

MoundView Dairy pH Levels – Crofoot reported that the legal process is ongoing. Lupee has met with MoundView Dairy and he reported that they discovered issues with their plumbing. They are in the process of repairing the plumbing (at their cost) in order to correct the high pH Levels.

Motion made by Nickels, second by Daus to adjourn. Motion carried. Meeting adjourned at 4:40 pm.

Respectfully Submitted, Sheila Horner Comptroller

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET

COUNCIL SECTION:

ITEM NUMBER:

TITLE:

ACTION

VIII.A.

Release of Citations for Donisi Properties

DATE:

April 25, 2023 VOTE REQUIRED:

Majority

PREPARED BY: Joe Carroll, Community Development Director

Description:

The City has issued approximately 765 citations to Dave Donisi between March of 2020 and January of 2023 – primarily regarding property maintenance issues for several of his properties. He has been found guilty on all of them. His properties are now in the hands of Reliable Guardianship Services, Inc., a court-appointed guardian who is trying to sell the properties. Some of the properties are vacant and some are occupied, but as they become vacant and cleaned out they are being listed for sale. The 11 properties in the City and 1 property in the Township will be sold to pay off Mr. Donisi's debts. It appears that the value of the properties is not adequate to cover all the debt and liens that are in place on the properties. The attorney working with the guardian is asking if the City would be willing to sign a release for these citations to help expedite the sale of the properties. It appears that a similar request is being made to other debtors and lienholders that are involved in the properties.

Below is some additional information related to the 11 properties in the City and their sale status.

Property Address	Assessed Value	Sale Status	Accepted Offer	Asking Price
375 W. Adams Street	\$88,100	Pending	\$50,000	
190 N. Elm Street	\$127,000			
730 Fremont Street	\$107,500	Contingent	\$60,000	
160 N. Hickory Street	\$147,800	Pending	\$135,000	
180 N. Hickory Street	\$135,000			
420 N. Hickory Street	\$135,100	For Sale		\$115,000
680 N. Hickory Street	\$218,900	For Sale		\$199,900
420 Market Street	\$138,100	Pending	\$85,000	
135 N. Water Street	\$87,300	Contingent	\$45,000	
155 N. Water Street	\$212,400	Contingent	\$102,500	
355 N. Water Street	\$92,000	For Sale		\$60,000

The debtors on the properties include a local bank lender, a trust fund acting as a private lender, the Wisconsin Department of Revenue, Grant County Circuit Court, and the City.

The total cost of the 765 citations would be approximately \$249,000, although most of that would be court costs. The City's portion would be approximately \$114,000.

The City's actual costs related to the properties would be through staff time investigating the properties and issuing the citations. This cost is estimated at approximately \$7,500. None of the citations were challenged by the property owner, meaning he didn't plead not guilty and did not show up in court, which means they were default judgements and there are no City attorney fees involved with the properties.

Budget/Fiscal Impact:

The request may have an initial negative budget impact due to the value of the citations being reduced or eliminated. Long-term there should be a positive benefit due to the anticipated improvements that will be made to the properties after they are sold.

Recommendation:

The Council needs to consider the release of the citations in order to expedite the sale of the properties.

Sample Affirmative Motion:

"Motion to approve the release of the municipal citations that have been issued against the properties owned by David Donisi."

Attachments:

- Property Location Map
- Information on the properties.

PROPERTIES OWNED BY DAVID DONISI



×



Veterans: Check 2023 VA Loan Re See how much home you can aft Pending \$70,000 Est. \$490/mo / Studio 1.5 bath 1,092 sqft 6,534 sqft lot 375 W Adams St, Platteville, WI 53818 Street Single family
Property type 35 days
Time on Realtor.com ⊖ Commute time: Add a commute > 1920 Year built A \$64 Price per sqft Share this home Ask a question Writing the bed 2023 VA Loan Requirements (Check Today!) Open houses Property Details Monthly payment Connect With A Lender

← Environmental risk Flood, Wildfire
 ← Schools
 ← RealEstimateSM

(3) Nearby home values

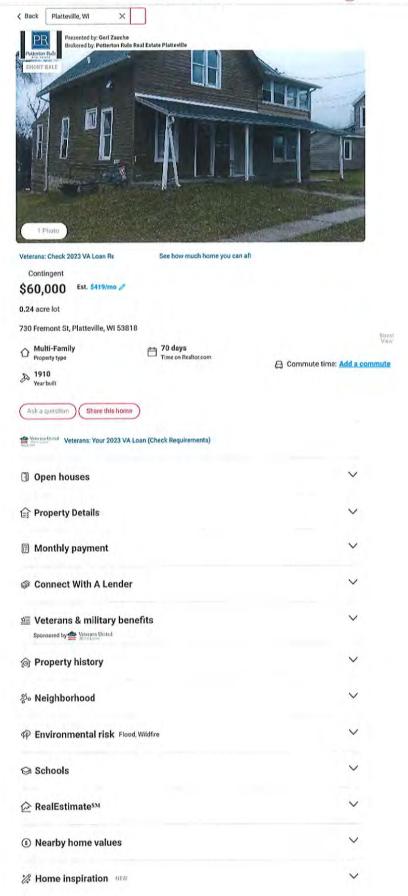
✓ Veterans & military benefits

Sponsored by

Yeterans United

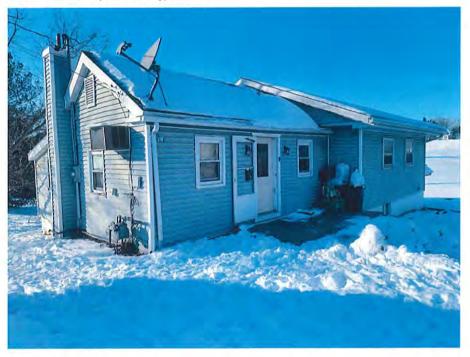
్లిం Neighborhood





2 Home inspiration NEW

Beds: 3 Baths: 2 Sq. Ft.: 1,108 Type: House



Listing Courtesy of

Potterton-Rule Inc Off: 608-348-8213

Listing #1948898

Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval. Currently rented until 6/1/2023 for \$ 750/month. Water softener leaks and there is evidence of black mold in the home.

Property Features

Location Information			
County: Grant	MLS Area: PLATTEVILLE - C		
Subdivision: Hillside Addition			
Interior Features			
Barrier Free: Level drive	Number of Bedrooms: 3		
Primary Bedroom On Main: Yes	Primary Bathroom Description: None		
Heating/Cooling: Forced air	Fuel: Natural gas		
Basement Description: Full			
Exterior Features			
Style: Ranch	Exterior: Vinyl		
Water: Municipal sewer, Municipal water	Parking Description: 2 car, Attached		
Garage Spaces: 2	Driveway: Paved		
Lot Size in Acres: 0.15	Garage Description: 2 car, Attached		

680 N Hickory ST Platteville, WI 53818

Beds: 4 Baths: 3 Sq. Ft.: 1,804 Type: House



Listing Courtesy of

Potterton-Rule Inc Off: 608-348-8213

Listing #1948880

Priced to sell, 4 bedroom 3 bath home includes a spacious kitchen and dining area with sliding glass doors. Thoughtful extras include 9' ceilings, beautiful large windows that bring in that extra sunshine. Extra carpenter's touches include rounded mitered drywall corners and extra details in some ceilings. The basement has the 4th bedroom and 3rd full bath, with plenty of room for your creative additions. Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval. Home is rented for \$ 1200/month until 1/31/2024.

Property Features

Location Information	
County: Grant	MLS Area: PLATTEVILLE - C
Subdivision: Park Addition	
Interior Features	
Barrier Free: Level lot, Open floor plan	Interior: Wood or sim. wood floor, At Least 1 tub
Number of Bedrooms: 4	Primary Bedroom On Main: Yes
Primary Bathroom Description: Full, Tub/Shower Combo	Kitchen Description: Breakfast bar, Microwave, Range/Over
Heating/Cooling: Central air, Forced air	Fuel: Natural gas
Basement Description: 8'+ Ceiling, Full, Partially finished, Poured concrete foundatn, Sump pump	
Exterior Features	
Style: Ranch	Exterior: Vinyl
Water: Municipal sewer, Municipal water	Parking Description: None
Driveway: Unpaved	Lot Size in Acres: 0.21
Garage Description: None	
School	
School District: Platteville	Elementary School: Call School District
Jr. High School: Platteville	High School: Platteville

P Environmental risk Flood, Wildfire

⊗ Schools

Nearby home values

% Home inspiration NEW

135 N Water ST Platteville, WI 53818

Beds: 4 Baths: 1 | 1 Sq. Ft.: 1,652 Type: House



Listing Courtesy of

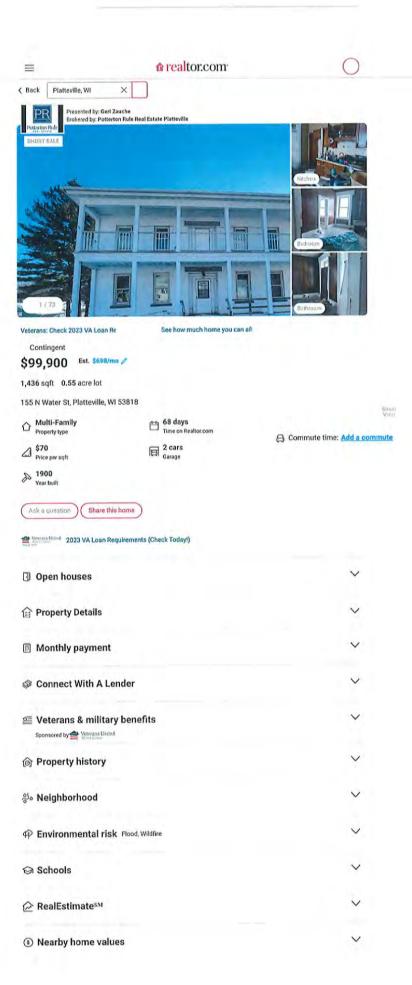
Potterton-Rule Inc Off: 608-348-8213

Listing #1948911

Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval.

Property Features

Location Information	
County: Grant	MLS Area: PLATTEVILLE - C
Subdivision: Carl Addition	
Interior Features	
Number of Bedrooms: 4	Primary Bathroom Description: None
1/2 Baths: 1	Heating/Cooling: Forced air
Fuel: Natural gas	Basement Description: Full
Exterior Features	
Style: National Folk/Farm	Exterior: Aluminum/Steel
Water: Municipal sewer, Municipal water	Parking Description: None
Driveway: Paved	Lot Size in Acres: 0.11
Garage Description: None	Outdoor: Deck
School	
School District: Platteville	Elementary School: Call School District
Jr. High School: Platteville	High School: Platteville
Additional Information	



Beds: 4 Baths: 1 Sq. Ft.: 1,295 Type: House



Listing Courtesy of

Potterton-Rule Inc Off: 608-348-8213

Listing #1948925

Property is sold in as is condition. Seller's representatives will not be responsible for making any repairs or removing any personal property that is on the premises. Any offers have to be approved by the court and mortgage holder. Please allow 60 days to obtain court and mortgage holder approval.

Property Features

Location Information	
County: Grant	MLS Area: PLATTEVILLE - C
Subdivision: Carl Addition	
Interior Features	
Number of Bedrooms: 4	Primary Bedroom On Main: Yes
Primary Bathroom Description: None	Heating/Cooling: Forced air
Fuel: Natural gas	Basement Description: Partial
Exterior Features	
Style: National Folk/Farm	Exterior: Fiber cement
Water: Municipal sewer, Municipal water	Parking Description: 1 car, Detached
Garage Spaces: 1	Driveway: Paved
Lot Size in Acres: 0.4	Garage Description: 1 car, Detached
School	
School District: Platteville	Elementary School: Call School District
Jr. High School: Platteville	High School: Platteville
Additional Information	

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET

COUNCIL SECTION: INFORMATION & DISCUSSION ITEM NUMBER:

TITLE:

DNR Resolutions for DNR Trail Grants

DATE
April 25, 2023
VOTE REQUIRED:
Majority

PREPARED BY: Howard B. Crofoot, P.E. Director of Public Works

Description:

VIIII.A.

The DNR has replaced the requirement for Resolutions of support with a form that takes the place of the previous Resolutions. For this grant cycle due May 1, the City is requesting DNR grants to match DOT grants applied for earlier this year. The City is using lessons learned from the failed grant requests from last year to break the Moundview Park Trail Connector project into four phases. The first three phases have been submitted for consideration for the DOT with Design in 2024 and Construction in 2025. This lines up with the DNR grant cycle. The fourth phase of the project was requested for Design in 2025 and Construction in 2026. That can be requested under the next DNR grant cycle.

Phase 1 is from the paved and lit Rountree Branch Trail near the bridge behind J&N Stone and continues north on the gravel trail to Mitchell Hollow Road. Phase 2 is from Mitchell Hollow to Broadway/County B – except for the footbridge. Phase 3 is from Broadway/County B to Fairfield Drive north of the High School. Phase 4 (next year's grant) is for the footbridge. See enclosed map.

Each of Phases 1-3 will convert the existing gravel trail to a paved and lit trail like the Rountree Branch Trail. Since the funding sources are different, snowmobiles can still use the trail when completed as long as there is enough snow to minimize damage.

Since we are making three requests, we need three Resolutions using the required DNR forms. These requests say that the City will pledge the local match.

Budget/Fiscal Impact:

Phase 1: Due to constraints under the DOT grant, Staff proposed that the Design cost of \$60,000 be 100% funded locally. Construction cost of \$508,521 would be funded 80/20 with the DOT paying \$406,817 and the City paying \$101,704. The DNR would fund up to 50% of the Design cost and the 20% City share for Construction. If awarded both grants, the shares would be \$406,817 by DOT, \$131,704 by DNR and \$30,000 by the City. If the City is NOT awarded the DOT grant, the DNR grant would pay up to 50%, or \$284,260.50 and the City would be responsible for the other half.

Phase 2: Due to constraints under the DOT grant, Staff proposed that the Design cost of \$60,000 be 100% funded locally. Construction cost of \$474,775 would be funded 80/20 with the DOT paying \$379,820 and the City paying \$94,955. The DNR would fund up to 50% of the Design cost and the 20% City share for Construction. If awarded both grants, the shares would be \$379,820 by DOT, \$124,955 by DNR and \$30,000 by the City. If the City is NOT awarded the DOT grant, the DNR grant would pay up to 50%, or \$267,387.50 and the City would be responsible for the other half.

Phase 3: Due to constraints under the DOT grant, Staff proposed that the Design cost of \$60,000 be 100% funded locally. Construction cost of \$724,905 would be funded 80/20 with the DOT paying

\$579,924 and the City paying \$144,981. The DNR would fund up to 50% of the Design cost and the 20% City share for Construction. If awarded both grants, the shares would be \$579,924 by DOT, \$174,981 by DNR and \$30,000 by the City. If the City is NOT awarded the DOT grant, the DNR grant would pay up to 50%, or \$392,452.50 and the City would be responsible for the other half.

We got in trouble with the DNR last year because of the delay in declining the grant. They would be disappointed if we did not accept a grant, if awarded, this year, but can work with us as long as we make the decision to accept/decline rapidly. We should decide up front whether we will accept trail grants without being awarded both DOT and DNR grants.

Recommendation:

Staff recommends the Common Council pass a motion to approve Resolution 23-xx, DNR Trail Grant Phase 1, Resolution 23-xx, DNR Trail Grant Phase 2, and Resolution 23-xx, DNR Trail Grant Phase 3.

Sample Affirmative Motion:

"Move to approve Resolution 23-xx, DNR Trail Grant Phase 1, Resolution 23-xx, DNR Trail Grant Phase 2, and Resolution 23-xx, DNR Trail Grant Phase 3."

Attachments:

- Resolution 23-xx DNR Trail Grant Phase 1
- Resolution 23-xx DNR Trail Grant Phase 2
- Resolution 23-xx DNR Trail Grant Phase 3
- Map

State of Wisconsin
Department of Natural Resources
dnr.wi.gov

Grant Project Resolution

Form 8700-388 (08/21)

Instructions: Each applicant must submit to the Wisconsin Department of Natural Resources (DNR) an *Authorizing Resolution* that is approved by the governing body of the organization and indicates which officers or employees of the organization are authorized to do the following:

- 1. Sign and submit the grant application
- 2. Sign the Agreement/Contract between applicant and the DNR
- 3. Submit required reports to the DNR to satisfy the Agreement/Contract (See Agreement/Contract for Requirement, if any)
- 4. Submit reimbursement request(s) to the DNR
- 5. Sign and submit other required documentation that maybe required for your specific project.

We strongly recommend that the applicant indicates the authorized person(s) by the title of position in the Authorizing Resolution, rather than by the name of the employee or officer. Employees have been known to retire or change jobs in the middle of a project, and, were this to happen, your resolution would be ineffective if it only lists the employee by name. If your organization requires that a person be named in an Authorizing Resolution, then the resolution should also include the title of position and contact information for the named individual.

Note: If applicant is required to submit a draft "intergovernmental agreement (IGA)" along with your agreement, an Authorizing Resolution is not a substitute for an IGA.

WHEREAS, (applicant) City of Platteville		is interested in	n obt	taining a cost-
share grant from the Wisconsin Department of N	latural Resources (DNR			
Moundview Trail Connector - Phase 1		(as described	in th	e application);
WHEREAS, the respondent attests to the validit application;	y and veracity of the sta	tements and representation	s coi	ntained in the
WHEREAS, an Agreement/Contract is required NOW, THEREFORE, BE IT RESOLVED, that (a				
will meet the financial obligations necessary to f	그 마루하면 하는 것은 마시트 가게 되었다. 그렇게 하다 가셨다.		0.00	
empowers the following officials or employees to	submit the following do	ocuments to the DNR for fina	ancia	al assistance
that may be available:	Title of Authorized	Email address and ph	one	number if
Task	Representative	alternative is	use	ed
Sign and submit application	City Manager	citymanager@platteville.org	1	608.348.1821
Enter into an Agreement/Contract with the DNR	City Manager	citymanager@platteville.org	1	608.348.1821
Submit required reports to the DNR to satisfy the Agreement/Contract, as appropriate	Director of Public Works	crofooth@platteville.org	/	608.348.1826
Submit reimbursement request(s) to the DNR per the Agreement/Contract	Comptroller	horners@platteville.org	/	608.348.1822
Sign and submit other documentation as necessary to complete the project per the Agreement/Contract	Director of Public Works	crofooth@platteville.org	1	608.348.1826
BE IT FURTHER RESOLVED that respondent v	vill comply with all local,	state, and federal rules, reg	ulati	ons, and
ordinances relating to this project and the cost-s	hare Agreement/Contra	ct.		
I hereby certify that the foregoing resolution was held on this 9th 🔽 day of May	duly adopted by Platter , 2023 .	ville Common Council	at a	a legal meeting
Authorized Signature	V	Date		
Title City Manager				

NOTE: The Authorized Signature and the Representative should not be the same person, unless minutes of the meeting where the resolution was adopted are attached.

State of Wisconsin Department of Natural Resources dnr.wi.gov

Grant Project Resolution

Form 8700-388 (08/21)

Instructions: Each applicant must submit to the Wisconsin Department of Natural Resources (DNR) an *Authorizing Resolution* that is approved by the governing body of the organization and indicates which officers or employees of the organization are authorized to do the following:

- 1. Sign and submit the grant application
- 2. Sign the Agreement/Contract between applicant and the DNR
- 3. Submit required reports to the DNR to satisfy the Agreement/Contract (See Agreement/Contract for Requirement, if any)
- 4. Submit reimbursement request(s) to the DNR
- 5. Sign and submit other required documentation that maybe required for your specific project.

We strongly recommend that the applicant indicates the authorized person(s) by the title of position in the Authorizing Resolution, rather than by the name of the employee or officer. Employees have been known to retire or change jobs in the middle of a project, and, were this to happen, your resolution would be ineffective if it only lists the employee by name. If your organization requires that a person be named in an Authorizing Resolution, then the resolution should also include the title of position and contact information for the named individual.

Note: If applicant is required to submit a draft "intergovernmental agreement (IGA)" along with your agreement, an Authorizing Resolution is not a substitute for an IGA.

	ON		
WHEREAS, (applicant) City of Platteville share grant from the Wisconsin Department of Moundview Trail Connector - Phase 2	Natural Resources (DNR	() for the purpose of	n obtaining a cost- in the application);
WHEREAS, the respondent attests to the validi application;	ty and veracity of the sta	tements and representation	s contained in the
WHEREAS, an Agreement/Contract is required NOW, THEREFORE, BE IT RESOLVED, that (
will meet the financial obligations necessary to empowers the following officials or employees t that may be available:		일하다 하는데 사람들이 가장 하는 사람들이 아이를 하는데 없었다.	
Task	Title of Authorized Representative	Email address and ph alternative is	
Sign and submit application	City Manager	citymanager@platteville.org	/ 608.348.1821
Enter into an Agreement/Contract with the DNF	City Manager	citymanager@platteville.org	/ 608.348.1821
Submit required reports to the DNR to satisfy the Agreement/Contract, as appropriate	Director of Public Works	crofooth@platteville.org	/ 608.348.1826
Submit reimbursement request(s) to the DNR per the Agreement/Contract	Comptroller	horners@platteville.org	/ 608.348.1822
Sign and submit other documentation as necessary to complete the project per the Agreement/Contract	Director of Public Works	crofooth@platteville.org	/ 608.348.1826
BE IT FURTHER RESOLVED that respondent ordinances relating to this project and the cost-			ulations, and
I hereby certify that the foregoing resolution wa held on this 9th ▼ day of May	s duly adopted by <u>Platte</u> ▼ , 20 <u>23</u> ▼ .	ville Common Council	at a legal meeting
Authorized Signature		Date	
Title City Manager		197	

NOTE: The Authorized Signature and the Representative should not be the same person, unless minutes of the meeting where the resolution was adopted are attached.

State of Wisconsin Department of Natural Resources dnr.wi.gov

Grant Project Resolution

Form 8700-388 (08/21)

Instructions: Each applicant must submit to the Wisconsin Department of Natural Resources (DNR) an *Authorizing Resolution* that is approved by the governing body of the organization and indicates which officers or employees of the organization are authorized to do the following:

- 1. Sign and submit the grant application
- 2. Sign the Agreement/Contract between applicant and the DNR
- 3. Submit required reports to the DNR to satisfy the Agreement/Contract (See Agreement/Contract for Requirement, if any)
- 4. Submit reimbursement request(s) to the DNR
- 5. Sign and submit other required documentation that maybe required for your specific project.

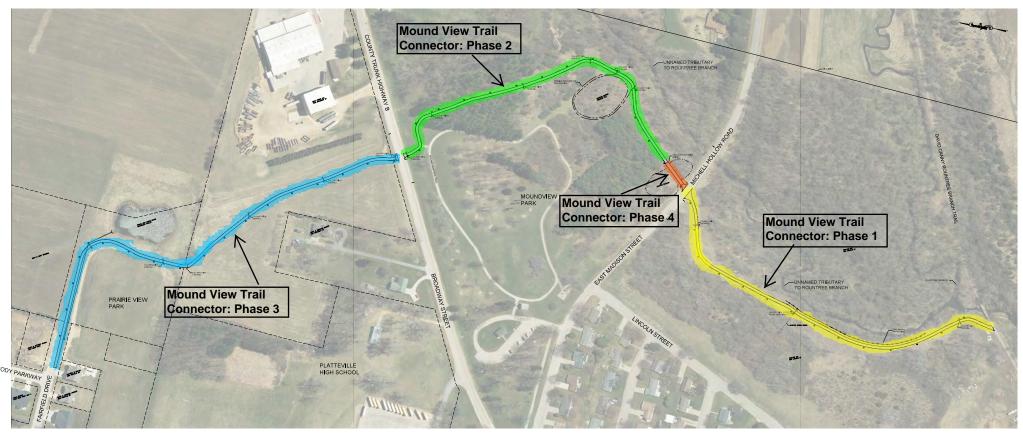
We strongly recommend that the applicant indicates the authorized person(s) by the title of position in the Authorizing Resolution, rather than by the name of the employee or officer. Employees have been known to retire or change jobs in the middle of a project, and, were this to happen, your resolution would be ineffective if it only lists the employee by name. If your organization requires that a person be named in an Authorizing Resolution, then the resolution should also include the title of position and contact information for the named individual.

Note: If applicant is required to submit a draft "intergovernmental agreement (IGA)" along with your agreement, an Authorizing Resolution is not a substitute for an IGA.

STANDARD AUTHORIZING RESOLUTIO	N			
WHEREAS, (applicant) City of Platteville			n ob	taining a cost-
share grant from the Wisconsin Department of N	Natural Resources (DNR		t	
Moundview Trail Connector - Phase 3				e application);
WHEREAS, the respondent attests to the validit application;	y and veracity of the sta	tements and representation	s coi	ntained in the
WHEREAS, an Agreement/Contract is required NOW, THEREFORE, BE IT RESOLVED, that (a				
will meet the financial obligations necessary to f			by a	uthorizes and
empowers the following officials or employees to	submit the following do	ocuments to the DNR for fina	ancia	al assistance
that may be available:				
Task	Title of Authorized Representative	Email address and ph alternative is		
Sign and submit application	City Manager	citymanager@platteville.org	1	608.348.1821
Enter into an Agreement/Contract with the DNR	City Manager	citymanager@platteville.org	1	608.348.1821
Submit required reports to the DNR to satisfy the Agreement/Contract, as appropriate	Director of Public Works	crofooth@platteville.org	1	608.348.1826
Submit reimbursement request(s) to the DNR per the Agreement/Contract	Comptroller	horners@platteville.org	1	608.348.1822
Sign and submit other documentation as necessary to complete the project per the Agreement/Contract	Director of Public Works	crofooth@platteville.org	1	608.348.1826
BE IT FURTHER RESOLVED that respondent v	vill comply with all local.	state, and federal rules, red	ulati	ons, and
ordinances relating to this project and the cost-s				The french
I hereby certify that the foregoing resolution was	duly adopted by Platte	ville Common Council	at a	legal meeting
	, 20 <u>23</u> .		are	legal meeting
Authorized Signature		Date		
Title City Manager				

NOTE: The Authorized Signature and the Representative should not be the same person, unless minutes of the

meeting where the resolution was adopted are attached.



MOUND VIEW PARK TRAIL PRELIMINARY LAYOUT

SOME THE

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET				
COUNCIL SECTION: INFORMATION & DISCUSSION ITEM NUMBER: VIIII.B.	TITLE: Fire Station Discussion	DATE April 25, 2023 VOTE REQUIRED: Majority		
PREPARED BY: Nicola Maurer, Interim City Manager				

Description:

The Council will discuss the Fire Station Schematic Design Report and the feedback from the community meeting.

Attachments:

- Platteville Fire Station Community Presentation Wendel/5Bugles/Kraemer
- Schematic Design Report for Platteville Fire Station Wendel/5Bugles/Kraemer



Platteville Fire Station

Community Presentation April 20, 2023







PROJECT TEAM HERE TONIGHT:



LAURA EYSNOGLE AIA, NCIDQ

ARCHITECT
WENDEL / FIVE BUGLES DESIGN



KYLE KRAEMER
VICE PRESIDENT

CONSTRUCTION MANAGER PRINCIPAL-IN-CHARGE KRAEMER BROTHERS





PRESENTATION OUTLINE:

- Project History
- Schematic Design
 - Site
 - Facility
 - Alternates
- Cost Estimate
 - How project costs evolve
 - Base estimate
 - Alternate estimates
 - Project scope
- What's Next
 - Potential design schedule
 - Potential construction schedule



1 Front Bay Iso





PROJECT HISTORY:

BEGAN STUDY OF **EXISTING FACILITIES**



FBD HIRED TO BEGIN **DESIGN**





WE ARE HERE



	20	20			20	21			20	22			20	23	
Q1	Q2	Q3	Q4												



CONCEPT RECOMMENDATION TO CITY COUNCIL



COMPLETED REVIEW OF STUDY AND REPORTING FOR USDA



COMPLETED SD REPORT AND ESTIMATE



APPROVAL FROM CITY **COUNCIL TO MOVE INTO** SCHEMATIC DESIGN



SCHEMATIC DESIGN: WHAT IS SD?

WHAT IS SCHEMATIC DESIGN?

- General understanding of a project
 - Physical requirements
 - Confirm sizes & occupancies
- "Big Picture" items
 - Building envelope & structure
 - Articulate floor plan
 - Initial code review
 - General interior finishes
 - Begin to review mechanical & electrical systems
- SD level construction estimate



END DELIVERABLE: SD REPORT

- Written Report:
 - Architecture, Mechanical, Electrical, Plumbing, and Structure
- SD Level Drawings:
 - Architecture
 - Floor plan
 - Dimension plan
 - Roof plan
 - Exterior elevations
 - Initial building sections
 - Floor finish plan
 - Mechanical zoning
 - Structure framing
 - Site plan
- SD Level Estimate

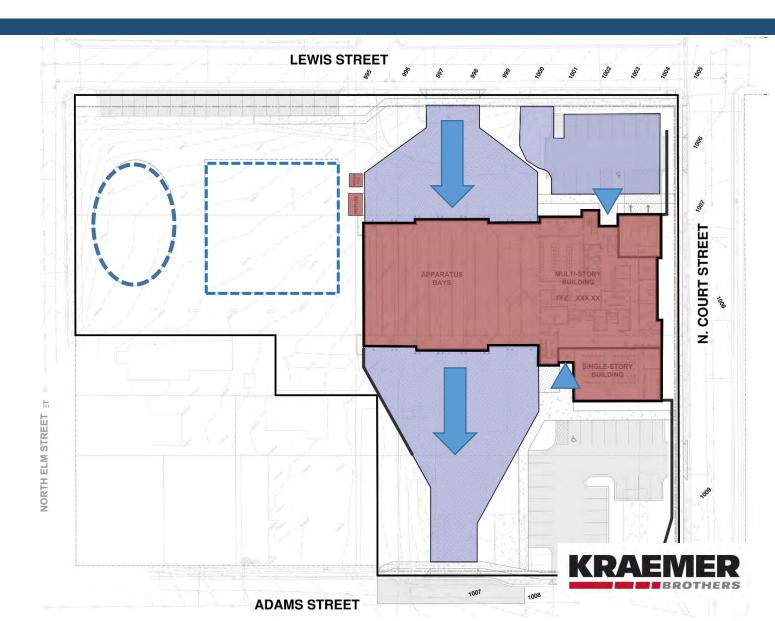


SITE

SITE:

- Response to south
- Return from north
- Public
 - Parking
 - Entry
- Responder
 - Parking
 - Entry
- On-site water retention
- Future area for training

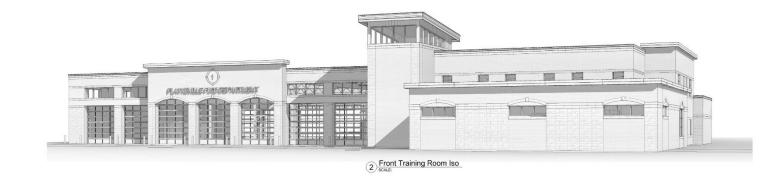




SCHEMATIC DESIGN: OVERALL

OVERALL:

- 32,525 SF facility
- Two-stories
 - Alternate for basement











OVERALL

FIRST FLOOR:

ADMINISTRATION

APPARATUS BAYS

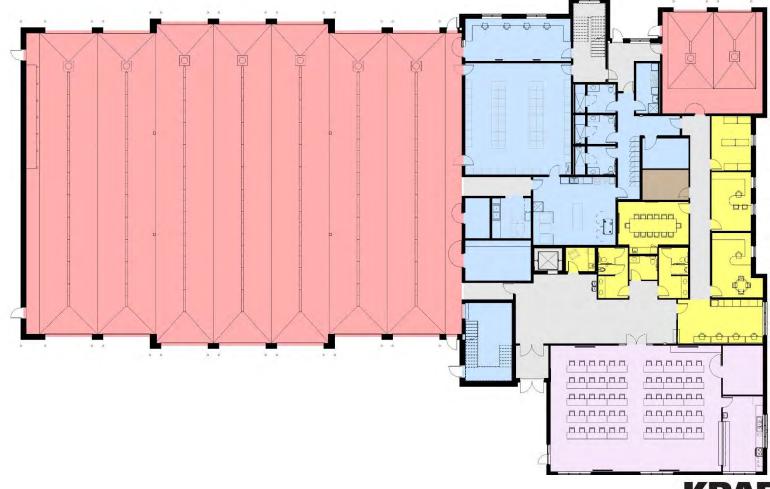
APPARATUS SUPPORT

CIRCULATION

MECHANICAL

STAFF SUPPORT

TRAINING

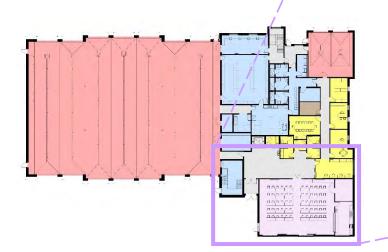


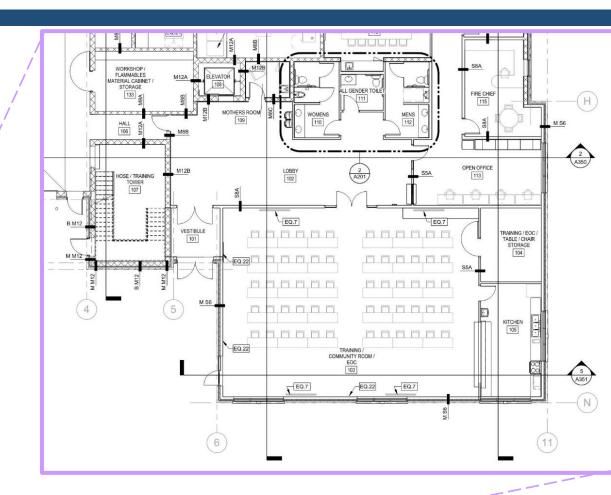




OVERALL

- Public Zone:
 - Training / Community Room
 - Lobby
 - Mothers Room
 - Toilets



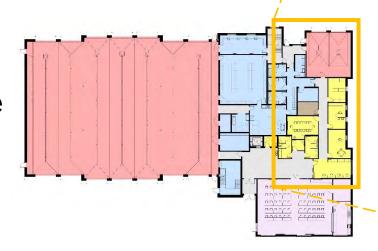


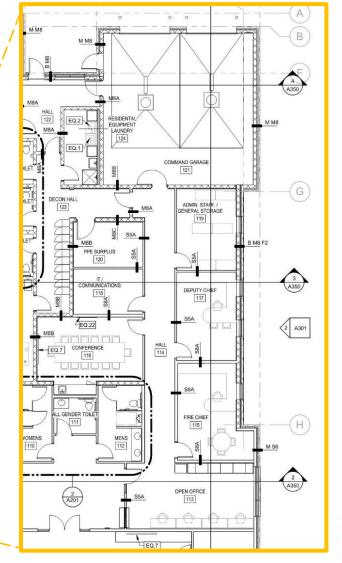




OVERALL

- Administration:
 - Open office
 - Work room
 - Two private offices
 - Storage / Future office
 - Conference room
 - IT
 - PPE storage
 - Command garage



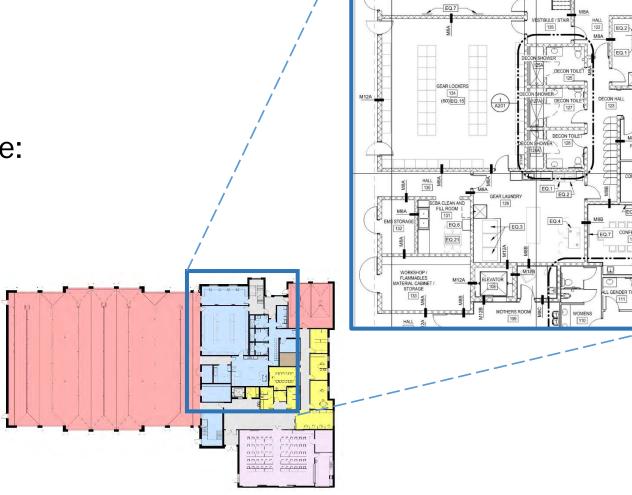






OVERALL

- Apparatus Support :
 - Watch Room
 - PPE Lockers
 - Decontamination Suite:
 - SCBA Clean/Fill
 - Gear Laundry
 - Toilet / showers
 - Residential Laundry
 - Workshop

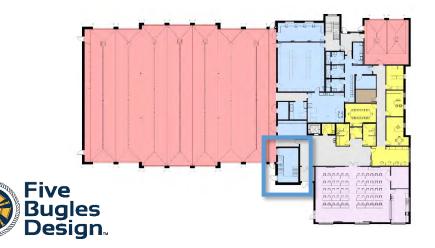


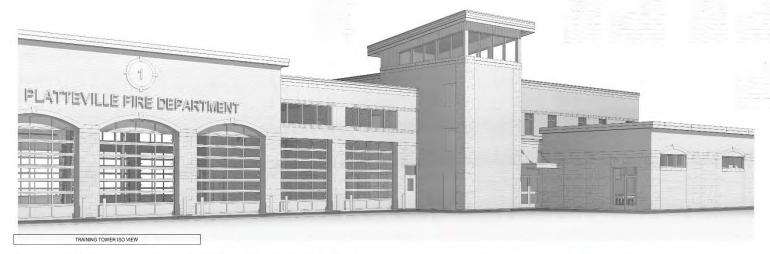


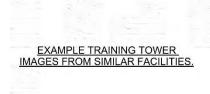


OVERALL

- Training:
 - Low frequency, high incident situations
 - Repelling
 - Chargeable standpipe
 - Confined space training











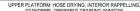










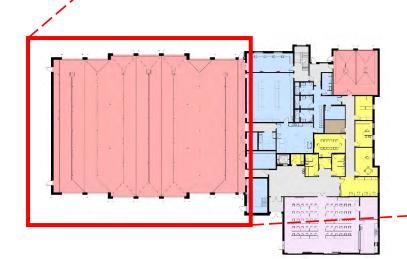


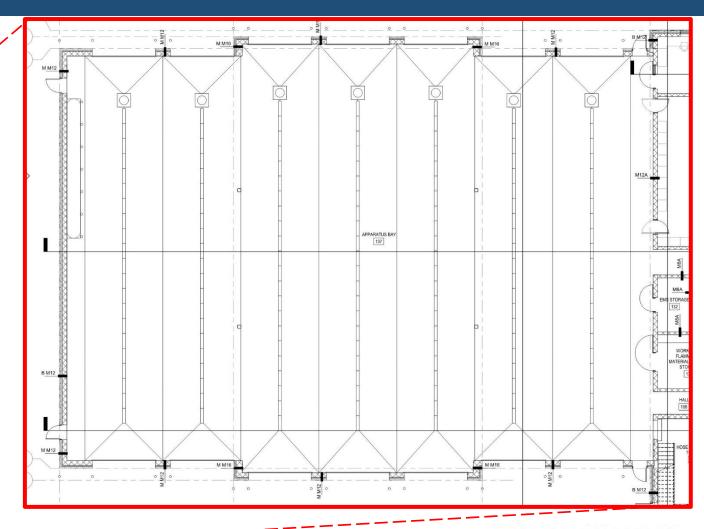




SCHEMATIC DESIGN: OVERALL

- Apparatus Bays :
 - Seven drive-through apparatus bays





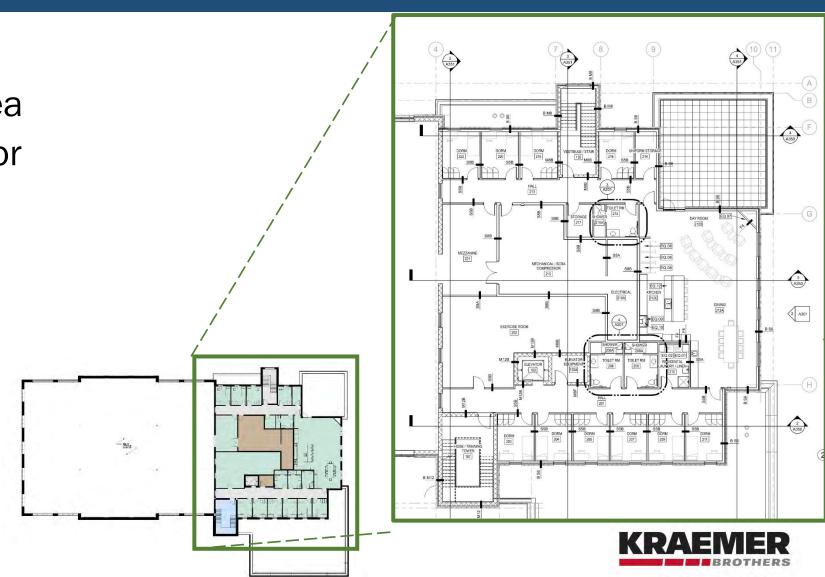




SECOND FLOOR:

- Base bid as a shelled area
- Alternate to finish 2nd floor includes:
 - 10 individual dorms
 - Toilet/showers
 - Kitchen
 - Dining
 - Day Room
 - Exercise
 - Mechanical

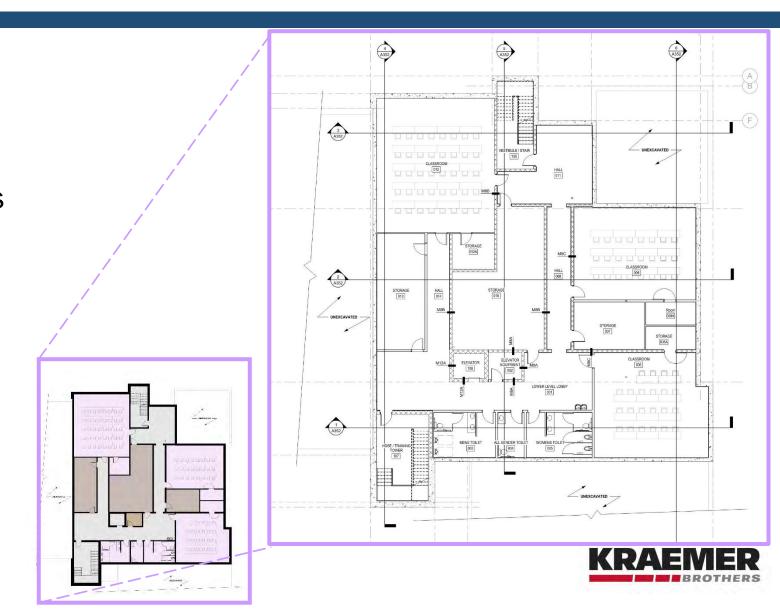




BASEMENT ALTERNATES:

- Two alternate bids:
 - Shelled space
 - Shelled and finished spaces
- Finished alternate includes:
 - Two small classrooms
 - One large classroom
 - Storage
 - Lobby / breakout spaces
 - Toilets





HOW PROJECT COSTS EVOLVE:

Concept Budget

Based on historical square foot costs of other like projects.

Concept drawings and a cost reliability ranking of 1 (1-5).

Schematic Budget

Based on historical component system costs, 5-15% of total drawings.

Cost reliability ranking of 2 (1-5).

\$\$

Target Budget

Budgeting includes takeoffs of plan measurements, quantities and internally generated unit costs, 15-30% of total drawings. Cost reliability ranking of 3 (1-5).

Guaranteed Max. Price

Detailed estimating, some subcontractor bids, key subcontractor input, 35% of total drawings.

Cost reliability ranking of 4 (1-5).

Final Cost

Detailed estimating, subcontractor hard bids, 100% of total drawings,

Cost reliability ranking of 5 (1-5).

\$\$

Concept Design

Design/project concept includes basic program elements with narrative, renderings and conceptual budget.

Design, engineering and construction team is selected.

Schematic Design

Design is typically 5-15% complete.

General view of the components and scale of the project defined by floor plans, basic structural design, mechanical systems, exterior elevations and narrative on interiors.

Design Development

Design is typically 30-50% complete.

Site plan, floor plans, structural design, building sections, wall sections, exterior elevations and roof plan are more defined; and the mechanical systems have outline specs.

Construction Documents

Design is 100% complete.

Value Engineering



Budget Type	Estimating Methodology	% of Total Drawings	Cost Reliability	Recommended Contingency
Concept Budget	Based on historical square foot costs	0%	1	10%
Schematic Budget	Historical component systems costs	5%	2	10%
Target Budget	Internally generated unit costs	15%	3	5%
Guaranteed Max. Price (GMP)	Detailed estimating, some subcontractor bids & input	35%	4	3-5%
Final Cost	Detailed estimating, subcontractor hard bids	100%	5	3%



BASE ESTIMATE:

BASE ESTIMATE - ONLY	
SITE DEVELOPMENT	\$1,525,000
GENERAL CONSTRUCTION	\$7,775,000
PLUMBING	\$605,000
FIRE PROTECTION	\$120,000
HVAC	\$1,100,000
ELECTRICAL	\$1,100,000
MISC. & EQUIPMENT	\$495,000
CONSTRUCTION FEE	\$355,000
CONSTRUCTION SUBTOTAL	\$13,120,000
CONTINGENCY 7.5%	\$1,000,000
TOTAL SD CONSTRUCTION ESTIMATE	\$14,120,000
FF&E	\$350,000
SYSTEMS & NETWORKING	\$150,000
DESIGN & ENGINEERING	\$847,000
TOTAL SD PROJECT ESTIMATE	\$15,467,000

Notes:

- 1. Base estimate only.
- 2. Does not include basement.
- 3. Second floor is shelled space only, no finished spaces.
- 4. Changes to project scope after bid opening may cause additional costs, resulting in change orders.





ALTERNATE ESTIMATES:

ALTERNATE ESTIMATED COSTS					
ALTERNATE	ADD OR DEDUCT	CONSTRUCTION COST			
UNFINISHED BASEMENT	ADD	\$1,470,000			
FINISHED BASEMENT	ADD	\$500,000			
FINISHED 2 ND FLOOR	ADD	\$875,000			
ELIMINATE TRAINING / COMMUNITY ROOM	DEDUCT	\$335,000			
SOLID INSULATED OVERHEAD DOORS VERSES GLASS DOORS	DEDUCT	TBD			
DECORATIVE FLAKE EPOXY FLOOR – APPARATUS BAY	ADD	\$105,000			

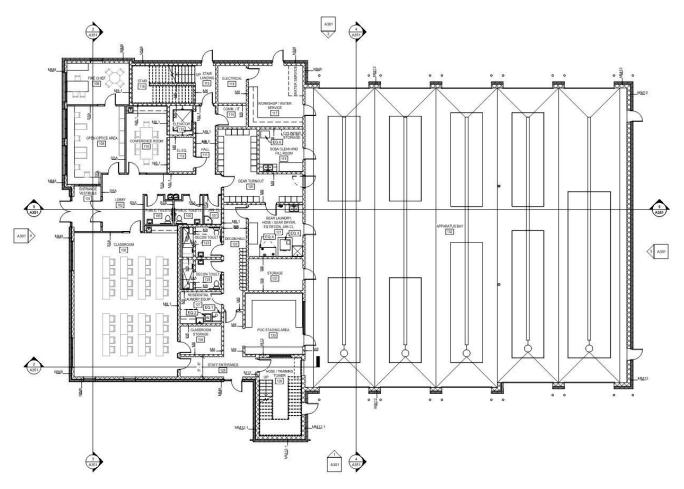
Notes:

- 1. Costs shown are estimates for construction costs only. Soft costs, including A/E fees and FFE will need to be added for total project estimate.
- 2. Alternates are intended to be designed and bid. Each bid will be reviewed at bid opening for inclusion in final project.
- 3. Alternate bid prices are held for 30-days after bid opening. If alternates are accepted after the 30-day period, additional costs are likely to incur.





CONCEPT VS FINAL DESIGN:



Suamico Fire Station

Programmed S.F. = 36,846 S.F. Completed S.F. = 22,050 S.F.

Greenville Fire Station

Programmed S.F. = 30,000 S.F. Completed S.F. = 24,680 S.F.

Wausau Fire Station

Programmed S.F. = 16,884 S.F. Completed S.F. = 15,233 S.F.

Monroe (Ohio) Fire Station

Programmed S.F. = 24,388 S.F. Completed S.F. = 20,100 S.F.

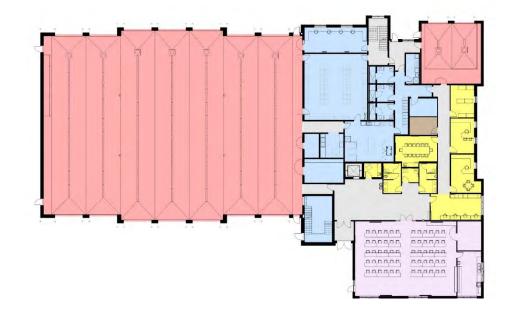




SCHEMATIC DESIGN VS FINAL DESIGN:

POST SD ESTIMATE CONSIDERATIONS:

- Confirm site plan:
 - Orientation on-site
 - Layout
- Confirm room sizes
- Confirm quantities of space types
 - Example: number of offices
- Confirm alternates



BUILDING PROGRAM + BUILDING BUDGET = MEET YOUR NEEDS





WHAT'S NEXT?:

POTENTIAL SCHEDULE

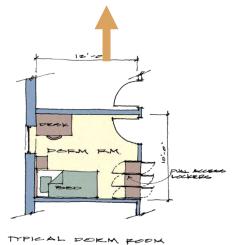
Concepts (Estimate) Schematic Designs (Estimate)



We Are

Design Development (Estimate) Construction Documents (Estimate) Bidding
Construction
Occupancy









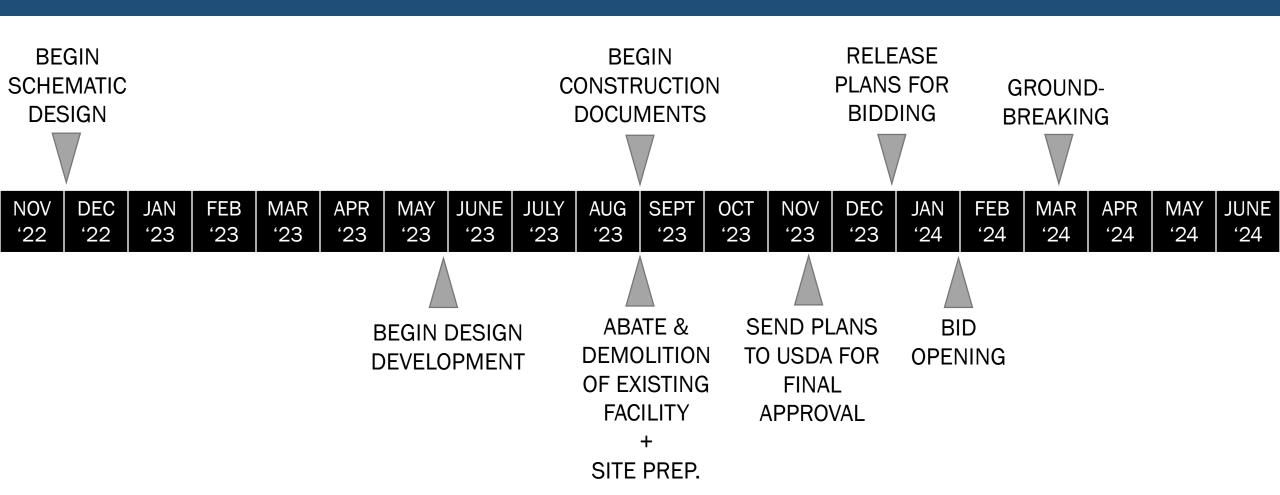






WHAT'S NEXT?:

POTENTIAL SCHEDULE





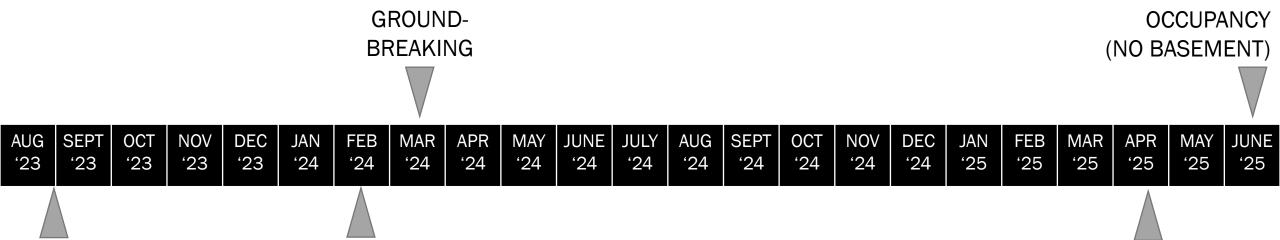
Schedule is subject to change. Schedule assumes timely approval and permission to advance to next stage of production through out project. Delays in approval will cause delay to overall schedule.





WHAT'S NEXT?:

POTENTIAL CONSTRUCTION SCHEDULE



ABATE &
DEMOLITION
OF EXISTING
FACILITY

+

SITE PREP.





- 1. Schedule is subject to change. Schedule assumes timely approval and permission to advance to next stage of production through out project. Delays in approval will cause delay to overall schedule.
- 2. Basement alternate will add an additional 2 months to the construction schedule.





SUBSTANTIAL

COMPLETION

(NO BASEMENT)

QUESTIONS?





Thank you.







833.667.9556 fivebuglesdesign.com

Schematic Design Report for

> Platteville Fire Station



April 13, 2023

TITLE	SECTION
Narratives a. Architectural b. Electrical c. Mechanical d. Fire Protection & Plumbing e. Structural	1
Schematic Design Drawings a. Site/Civil b. Architectural c. Mechanical d. Structural	2
Opinion of Probable Construction Cost	3



Architectural Narrative

General Building Description

Wendel's Five Bugles design team was hired by the City of Platteville to design a new fire station, replacing their existing station. This new construction project is designed with a total area of 32,526 SF including approximately 5,400 SF of living quarters and an add alternate will be designed to include a 7,715 SF basement.

- Two distinct apparatus garages:
 - Seven drive-through bays dedicated to large apparatus and emergency response vehicles
 - Two back-in bays for smaller support command vehicles
- Apparatus Support, including gear storage as well as equipment maintenance repair and decontamination.
- Fire Administrative Offices:
- 60-Person Training Room
 - o The training room also includes:
 - A dedicated storage room for tables and chairs
 - A kitchen
 - o Potential uses for the training room include, but are not limited to:
 - Resiliency hub
 - Emergency Operations Center (EOC)
 - Voting
 - General community use
- Public lobby, including:
 - Historic display
 - o Mother's room
 - Public toilets
- Living Quarters
 - o Ten single occupancy dorm rooms
 - Three single occupancy toilet and shower rooms
 - Kitchen/dining/day room
 - o Fitness Room

The structure is envisioned as a predominant two-story building with double-height apparatus bays. A single-story portion of facility will be constructed to help ease the large scale of the structure on the site, which is located within a residential area. Attention has been paid to developing appropriate response scenarios throughout the station. As such, the training room and training tower are located on the first floor of the facility with direct hallways to both garage spaces. The watch office is located at the north end of the facility, near the responder entry, and access to personal protective equipment (PPE) lockers. Adjacent to that responder core are the administration areas, which flank the east side of the facility.

The second floor of the station will house the department's living quarters, including individual dorms, individual toilets and showers, a kitchen, dining room and day room. The exercise room is located directly above non-occupied spaces to minimize sound transfer concerns. All dorm rooms are located on an exterior wall and have a window for natural light and located for fast response to the apparatus bays.

The project site is located just north of the downtown Platteville, located on the block bordered by W. Lewis and W. Adams Street and between N. Elm and N. Court Street. The O E Gray Early Learning Center and Senior Center Building are currently located here. This facility, originally designed as a school, will be razed as part of this project. The total project site is currently compromised of three individual properties, all owned by the City of Platteville. A certified survey map will join these properties into one.

The exterior will feature prominent use of brick and stone veneer supplemented with cast stone banding. The brick is intended to reflect the colors of the brick used on the facades of buildings in the downtown. Windows are prominently used in the overhead door openings and picked up elsewhere in the design, promoting natural daylighting.

The interior design will feature four separate zones: apparatus and support areas, administrative spaces, training, and living quarters. Apparatus and support areas will typically be finished with sealed concrete or fluid applied floors, painted concrete block and painted exposed structure. Administrative spaces will be finished with carpet and lay-in ceilings. Training spaces will be a mix of hard finishes or softer professional finishes depending upon use. Living quarters and staff support spaces will be typically finished with softer finishes as befits living areas including carpet tile and flocked carpet, painted drywall partitions, kitchen cabinetry with quartz counters, and heavy-duty residential appliances.

Architectural Systems

- Exterior walls of the apparatus and support areas will be masonry cavity wall construction.
 The exterior walls of the administrative, training areas and living quarters will be of metal stud construction. The exterior finishes will be a mix of brick, stone and cast stone veneer.
 The building will be spray foam insulated with R-values as required by code standards.
- 2. Floor slabs will be insulated with Hi-Load 60 psi insulation where in-floor heat is installed in the apparatus bays as well as the perimeter to the first-floor administration areas. The rest of the facility will be slab on grade. Trench drains will run parallel with the bays with appropriate catch basins.
- 3. Stairs shall be constructed of steel stringers and formed steel treads, risers and mid-floor landings. The hose tower treads and landings will be galvanized metal grating. Treads and landings in the north stairwell will be finished with resilient flooring. Railings will be fabricated of steel bars and tubes with a painted finish.
- 4. The roof system will be fully adhered EPDM membrane and insulation over metal deck. Roof edge coping, fascia and trim shall be 22-gauge galvanized steel with manufacturer's standard Kynar finish. The roof will include internal roof drains with overflow roof drains. Gutters and other accessories will be provided as necessary over sloped roofs and awnings.
- 5. Exterior storefront framing to consist of thermally broken anodized aluminum frames and mullions. Glazing shall be insulated, double pane units, with ¼" tempered glass at the exterior and ¼" laminated glass at the interior.





- 6. Exterior overhead doors shall be insulated steel sectional with insulated glazing and exterior weather-strip and jack shaft type operators. Glazing units shall meet same specification as windows. Exterior service doors and frames shall be galvanized steel. Exterior louvers shall be extruded aluminum with drainable blades and bird screens.
- 7. Interior doors shall be wood or 18-gauge steel while the interior frames shall be 16-gauge steel.
- 8. All door hardware shall be commercial grade with select doors having key fob access control systems. Exterior lobby doors shall have automatic door operators.
- 9. Interior partitions shall be concrete masonry or gypsum wallboard on metal stud with sound insulation and wood blocking as required for equipment mounting. Walls surrounding dorms will need a sound transmission control (STC) rating of over 50.
- 10. Typical interior wall finishes to include primer and two finish coats of paint. Wall Coverings will be used in select rooms.
- 11. Floor finishes shall be sealed concrete at the apparatus bays and apparatus support areas. Fluid applied flooring will be used in the decontamination areas. Porcelain tiling and resilient flooring will be used in select areas of the administration areas where circulation and cleanliness are key. Carpet tile flooring will be used in the training room, offices, and living quarters. Flocked carpet will be used in dorm rooms. Rubber athletic flooring is proposed in the Fitness Room.
- 12. Acoustical ceilings shall be 24" x 24" in office and other work areas where required with a 15/16" suspension system. Specialty ceiling systems will be used in the lobby, kitchen, dining, and day rooms.
- 13. Casework and dorm lockers shall be plastic laminate constructed in accordance with AWI Custom Quality. Solid surface countertops shall be used at lavatories and windowsills. Quartz countertops will be used in the kitchen areas. All apparatus bay support casework will be metal with stainless steel countertops or butcher block in select rooms.
- 14. Shower rooms will consist of porcelain tile shower surrounds and appropriate waterproofing with porcelain tile floors.
- 15. Toilet partitions shall consist of solid molded high-density polyethylene, floor-mounted headrail braced.
- 16. Toilet accessories shall be commercial quality brushed stainless steel at all toilet rooms. PVC benches will be located at each shower area.
- 17. Lockers shall be fully ventilated painted metal at the Decontamination Area.
- 18. Fire extinguisher cabinets are to be fully recessed, steel construction with vertical glass insert.





19. Window Shades shall be fabric roller shades complete with mounting brackets, roller tubes, hembars, hardware and accessories. All window shades with sills at or below 60" above finished floor (AFF) are to be manually operated. All window shades with sills at or above 61" (AFF) are to be mechanically operated.





Electrical Narrative

Electrical Systems Description

Applicable Codes and Standards

Codes:

- 2020 National Electrical Code 70
- 2020 Standard for Electrical Safety in the Workplace 70E
- 2016 National Fire Alarm Code 72
- 2018 Life Safety Code 101
- 2015 Wisconsin Building Code
- 2015 Energy Conservation Code of Wisconsin

Guidelines/Standards:

- Alliant Energy Electric Service and Metering Manual
- The Lighting Handbook 10th Edition Illuminating Engineering Society

1. Normal Power:

- A new electrical service will be provided for the proposed facility. The service will consist
 of pad mounted transformer (preliminarily 500kVA), underground ductbank with wiring
 terminating at service rated disconnect switch on the exterior of the building. The main
 switchboard will be located on mezzanine level electrical/mechanical room. Exact
 location will be coordinated.
- The service will be 800A, 480Y/277VAC, 3-phase, 4-wire.
- The main switchboard will supply power to typical lighting/branch circuits located throughout the facility as required for the loads.
- Common panelboards shall be provided for general power and lighting circuits, and dedicated panelboards for mechanical equipment.
- The utility transformer will be provided by utility company (Alliant Energy), as well the primary conductors. Primary underground raceways to the utility service pole, secondary ductbank, and transformer pad will be provided by the contractor.
- Final termination at utility pole and the transformer will be performed by the utility company.

2. Emergency/Standby Power:

- The new Fire/EMS facility shall be backed up by an exterior diesel generator set with a sound attenuated, weatherproof enclosure. The generator will be sized to handle the facility electrical load in its entirety, it will be 300kW, 480Y/277V output and single output circuit breaker. Sub-abase tank will be provided with fuel capacity of 24 hours.
- Service entrance rated transfer switch will be provided to facilitate connection for the entire facility. Transfer switch will be rated 800A at 480Y/277VAC, 3-pole.
- Generator will be located at the back of the building in the proximity of the utility transformer.
- System basis of design will be Kohler.





3. Branch Circuits:

- General purpose power will be provided throughout the facility with receptacles located as required by the NEC or as dictated by proposed equipment locations such as copiers and similar.
- GFCI receptacles will be provided in apparatus bays, food prep area and at locations within 6ft of any sink.

4. Interior Lighting:

- LED lighting will be provided throughout the facility. Rooms with ceilings will utilize 2'x2' and 2'x4' recessed troffers. Offices, meeting, and other similar rooms will be provided with architectural low glare variety and all other spaces such as corridors, break rooms and similar spaces will be provided with lensed troffers. Utility spaces such as mechanical, electrical, and similar use room will utilize industrial linear 2ft, 4ft, or 8ft lensed strip fixtures that will be wall mounted or suspended from structure. Apparatus bays will be illuminated by industrial type, high-bay luminaires. They will be suspended from the structure and located to provide general illumination.
- The lighting will be designed to provide the following average light levels:
 - o Small Offices 40-50fc
 - o Corridors/Halls 10-20fc
 - o Restrooms/Locker Rooms 20-25fc
 - o Conference/Meeting Rooms 40-50fc
 - o Utility Rooms 20fc
 - o Apparatus Bays 50fc
 - o Dorm Rooms 30fc
- Manual and Automatic lighting controls will be provided throughout per the following:
 - o Small Offices Vacancy sensors (Manual On/Auto OFF), dimmers.
 - o Corridors/Halls Occupancy sensors (Auto ON/Auto OFF), 3-way switching.
 - o Restrooms/Locker Occupancy sensors
 - o Conference/Meeting Vacancy sensors, multi zone dimmers.
 - Utility Rooms Manual switches only in electrical and similar spaces, vacancy sensors in janitor and similar utility spaces.
 - o Apparatus Bays Manual, multi-zone switching with multiple switch locations to allow control from various points of entry.
 - Dorm Rooms Vacancy sensors (Manual ON/Auto OFF), dimming.
- Large rooms that require 150W or more of general lighting and that have windows will be provided with automatic daylight harvesting controls that will adjust lighting in the daylight zones to maintain 50fc average on the work surfaces below.
- Dorms and areas that would be considered living quarters and include most of the second-floor spaces will be provided with color tunable lighting system. The system will be designed to automatically tune the artificial lighting system to mimic natural light properties throughout the required rooms.
- Battery powered emergency lighting will be provided throughout where required for illuminating the egress pathways, mostly in corridors or similar areas used for passageways.





5. Exterior Lighting:

- Exterior façade of the building will be illuminated using wall packs. The wall packs will also provide perimeter illumination where installed.
- Parking areas and driveways will be illuminated by using 20ft pole mounted site luminaires. Poles will be aluminum 4" square.
- All exterior lighting will be time schedule controlled with photocell override. Digital controller will allow owner to set schedule for 365 days.

6. Voice/Data:

- Two 4" underground conduits will be provided to the service connection point on the overhead pole for communication systems services.
- Demark backboard will be provided in the communications room for the services.
- Three 4" PVC underground conduits will be provided from the main IT room to exterior of
 the facility and owner provided underground vault, final location will be coordinated with
 the owner. One raceway will be provided with 24-strand, ST/UP fiber optic cable, final
 termination will be by owners representative.
- Communications room will be provided with two 2-post floor mounted racks to be used by owner for housing voice and data equipment. Dedicated power connection to the rack will be provided.
- Layout of voice and data outlets will be provided by architect/engineer, with owners input, each outlet shall be provided with two Category 6 data cables back to data rack for termination at a patch. All terminations at the patch panel and at jack will be by contractor.

7. Security Systems/CCTV/Cable TV:

- All system design and wiring shall be provided by the Owner under separate contract(s). This project will provide infrastructure (conduit, boxes, and wiring) only. The rough-in requirements will be coordinated with the Owner and their IT/security systems representative.
- Power for all head end equipment will be coordinated and provided where required by owner supplied systems.

8. Alerting Systems:

All system design and wiring shall be provided by the Owner under separate contract.
 This project will provide rough-ins and wiring. The rough-in requirements will need to be coordinated with the Owner.

9. Audio/Visual Systems:

- System design will be coordinated with owner under separate contract and meet needs of the space.
- Audio components shall include but not limited to, wired and wireless mics, localized speakers, monitor/TV and sound system for plug in and Bluetooth devices.
- Video components shall include but not limited to projector, computer, Blu-ray DVD player, and local monitor/TV.





• Connections for outside devices will be available at front and rear of rooms, or at owner's direction.

10. Fire Alarm System:

- The new addressable fire alarm system will be provided. Since the building will be fully sprinklered, the fire alarm system's automatic detection will be minimal.
- Devices will be installed as follows:
 - o A remote annunciator panel will be located at the main building exit, or Lobby.
 - Manual fire alarm pull stations will be installed within 5' of each exit doorway, and additional pull stations throughout corridors and exits such that distance of travel to any station is less than 200 feet on the same floor. Units will be installed 48" above finished floor to operating handle.
 - Sprinkler system flow and tamper switches will be monitored by the Fire Alarm Control Unit (FACU).
 - o Smoke detector will be provided as required by Code.
 - Magnetic door holders will be installed at doors at each fire separation as required.
 - Duct smoke detectors will be provided in each air-handling unit ductwork with an air capacity of 2000cfm and greater. Fire alarm wiring will be provided to each equipment controller to facilitate unit shutdown in case of fire alarm.
 - Horn/Strobe notification device will be provided in accordance to with NFPA 72 requirements.
 - Carbon monoxide system will be provided with sensors located in the vehicle storage areas as well as in areas that are serviced by equipment utilizing the fossil fuels, such as furnaces or HVAC equipment. CO detection will also be provided in the kitchen as well as sleeping rooms. The system will be monitored by the fire alarm control panel.

11. Power to Mechanical Equipment/Systems:

- Electrical power will be provided to all mechanical equipment, fans, pumps, etc.
- Dedicated panelboard will be provided for required connections to mechanical equipment. Voltage available for equipment is 480V, 3-phase, 480V single phase 208V, 3-phase and 208V single phase, as well as 277V and 120V.
- Equipment will be provided with factory mounted VFDs.
- Disconnects or receptacles will be provided where required by code.

12. Miscellaneous Requirements:

- Apparatus bays shall be provided with one cord reel for each engine and other vehicle locations. Cord reels shall have 50-foot cords with a stopper set such that the receptacle hangs at a set height above the floor. They shall also be compatible with the Owners automatic disconnect system on their fire trucks.
- Electrical vehicle charging stations will not be provided but two 40A spare circuit breakers will be provided for future connections of two Level 2 EV chargers.
- Power will be provided for overhead doors to the apparatus bays.





Mechanical Narrative

Building Heating Systems

The bulk of the heating will be provided by three natural gas high efficiency condensing hot water boilers. Each boiler will be capable of providing 50% of the building heating load, enabling some redundancy in the system should one of the boilers experience failure or require service during the heating season. The entire building hot water heating system is anticipated to be approximately 1,450,000 btu/hr. Each boiler will have an approximate capacity of 725,000 btu/hr.

The hot water piping system shall be specified as type L Copper pipe with solder fittings. Piping will be insulated in accordance with the International Energy Conservation Code. This piping system will distribute hot water to in-floor hydronic manifolds, snow melt manifolds and other terminal equipment with a two-pipe supply/return system. The hydronic pumping arrangement will consist of a primary/secondary system with lead/lag redundant pumping control. Pumps will be variable speed to control flow and reduce energy use. Refer to the space planning drawing of the mechanical mezzanine for the anticipated equipment sizes and locations.

Spaces within the office areas and other occupied areas have exterior wall exposure on the 1st floor will be provided with in-floor radiant heat from the main boiler plant. Radiant zones will extend from the exterior wall into the space 4 feet. Zones will be grouped together based on exposure and control based on a combination of space temperature and outside air temperature.

Snow melt zones shall be provided, as an alternate bid item, outside of each of the pedestrian entryways.

All in-floor and in-slab piping systems will be an EPDM piping, equal to Onix manufactured by Watts Radiant. Each piping zone will be seamless and jointless piping lengths to minimize the possibility of failure within the slab.

Apparatus Bay and Command Garage Heating and Ventilation Systems

Radiant in-floor heating will provide the primary heating source. Hot water will be distributed to approximately five (5) low temperature (120 deg F) hot water zones of infloor radiant heating from the building heating system. Additionally, wall or ceiling hung hot water unit heaters will be provided for supplemental heat throughout the bays and garage. Destratification fans will be used to circulate air and avoid stratifying warm air at the underside of the roof deck. The bays and garage will not be cooled to reduce energy consumption of the facility.

The ventilation system for the Apparatus Bay and Command Garage will consist of a natural gas indirect fired energy recovery unit with a plate and frame heat exchanger. The Apparatus Bay and Command Garage will be controlled by an automatic CO/NO2 exhaust





detection system. The proposed system will normally exhaust 0.15 cfm/sf from the area and will be capable of modulating up to an exhaust rate of 0.75 cfm/sf of floor area when either CO or NO2 exceeds allowable levels. The system shall operate in the higher exhaust rate mode for a minimum of 5 hours per day to meet the Wisconsin Mechanical Code.

The ventilation units shall provide pre-tempered ventilation air for the Apparatus Bay and Command Garage and will exhaust air through the plate and frame heat exchanger. The Apparatus Bay and Command Garage will be negatively balanced in relation to the adjacent, connecting, spaces.

The adjacent and connecting spaces such as the Watch Room, Gear Lockers, Workshop, Decon Suite, Storage Rooms and Corridors will be conditioned with a dedicated energy recovery unit. The unit will exchange energy between supply and exhaust air streams to reduce energy usage and elevate odor and moisture removal. The unit will be provided with a supplemental heating and cooling coil.

Should the department elect to install a direct tail pipe exhaust system within the Apparatus Bay or Command Garage, a 24"x24" roof curb with removable cap will be in place for routing of future exhaust ductwork through the roof.

Building Conditioning Systems

Packaged rooftop units will provide heating, cooling, and ventilation to spaces outside the Apparatus Bay and Command Garage. The building will be broken into five (5) main zones with spaces broken down as indicated on the included zoning plan. The basement is RTU is expected to be broken down into 6 VAV zones but will be finalized once the final floor plan is approved. The packaged rooftop units will deliver conditioned air through insulated sheet metal ductwork to each space. The anticipated sizes for the packaged rooftop units are:

- 1. Basement 17.5 tons
- 2. 1st Floor Offices, Lobby, Conference 15 tons
- 3. Training Room 7 tons
- 4. Dorms 15 tons
- 5. Day Room/Kitchen 4 Tons

The packaged rooftop units will provide continuous ventilation of the spaces per the requirements of the International Mechanical Code. The units will be equipped with an economizer section as required by the International Mechanical Code. The economizer section will allow full outside air to utilize free cooling whenever the system(s) are in cooling and the outside air temperature is lower than the return air temperature.

Each RTU will be provided with MERV-8 pre-filters and MERV-13 final filters to filter the air a level currently recommended by the CDC.





The main zones will be further broken down into control areas using variable volume terminal units as indicated on the included zoning plan. Each space or grouping of similar spaces within a zone will be provided with a terminal unit and point of temperature control. The terminal units will have a hot water reheat coil to provide additional temperature control to each zone for added thermal comfort.

The Training Room unit will be single zone packaged rooftop unit.

Supply ductwork will be provided throughout and sized to accommodate heating, cooling and ventilation requirements. Ductwork system will be insulated in accordance with the International Energy Conservation Code. As a cost and space saving measure, return air plenum will be utilized in lieu of ducted return to deliver air back to the packaged rooftop units. Transfer openings will be required to move air between spaces where full height walls are constructed. All materials above the ceiling, such as data cabling and plumbing piping, will be plenum rated.

A ductless air conditioning system will serve the I.T. closet. This system will have a wall mounted evaporator and an air-cooled condensing unit located in the mechanical room. The system will be designed to offset the cooling load generated from the I.T. equipment provided within the closet. The system will be designed to operate 12 months a year and maintain a space temperature as required by the I.T. equipment to prevent premature failure.

General exhaust will be provided as required for the building per the requirements of the International Mechanical Code. Generally, spaces such as toilet rooms, shower rooms, locker rooms, janitor's closets, kitchen areas, and other areas where odor control is necessary. Exhaust will be removed from the building through powered roof ventilators.

Training Systems

The hose training tower and training hallway on the roof will each be provided with an exhaust fan to relieve smoke produced during training exercises. The exhaust fans shall be manually operated with a switch.

Controls

The building will be provided with a Digital Direct Controls (DDC) to operate the HVAC system. The system will allow temperature control monitoring and adjustment as well as alarm notification and viewing of equipment statuses. The system will be web-based, meaning it will be available to be accessed through any device with an internet browser.





It will also be password protected to control the access to the system. Schneider Electric will be used as the desired basis of design for control hardware.

Temperature sensors will be provided for all control zones. Sensors in private areas will allow occupant temperature set point adjustment within a set range. Sensors will in public spaces will not be provided with local temperature adjustment. Wall sensors in the meeting room, training room, and other large occupancy spaces will also lack local temperature adjustment to prevent undesired occupant temperature adjustment.

HVAC Equipment Manufacturers

The following manufacturers will be specified; however, a minimum of two additional manufacturers will be listed to encourage competitive bidding:

- 1. Packaged Rooftop Units: Trane Horizon.
- 2. Energy Recovery Unit: Renew-Aire.
- 3. Boilers: Lochinvar.
- 4. Pumps, hydronic specialties, and in-floor radiant heating system: Bell and Gossett.
- 5. Makeup air units and fans: Trane.
- 6. Terminal units and diffusers: Price.
- 7. Temperature Control System: Schneider Electric.





Fire Protection & Plumbing Narrative

Fire Protection System Description

- The fire protection system will be designed to meet or exceed the requirements of the currently adopted version of NFPA 13. NFPA 13 provides minimum sprinkler system requirements based on the content and usage of the spaces being protected. This code establishes a minimum density of water required on the floor, measured as gallons per minute, per square foot (GPM/SF), as well as many other characteristics of the system.
- 2. The property is located on the corner of W Adams St. and N Court St. in the town of Platteville, WI. We have received fire hydrant flow test data for the property. Based on these tests and because the standard fire protection design for fire stations is a fairly low overall hazard, we are hopeful that the water supply will be adequate. This will be confirmed once we begin sprinkler system design and perform hydraulic calculations, but we do not currently anticipate a fire pump being needed.
- 3. A combined 6" fire-water service will be brought into the building from the street. The service will then be split inside the building with a 4" service line for fire protection and a 3" line for the domestic water. Inside the building the fire protection line will have a 4" double check detector assembly (DCDA) to protect the water supply from contamination.
- 4. Zone 1 will be a wet pipe sprinkler system serving the Fire Apparatus Bays. For this zone, piping will be schedule 40 galvanized steel with grooved or threaded fittings. Sprinkler heads will be quick response, upright type heads with a k-factor of 5.6 and provided with an electroless nickel type corrosion resistant finish. A classification of ordinary hazard group 2 will require a water density of 0.20 GPM/SF across a 1500 SF design area.
- 5. Zone 2 and zone 3 will be a wet pipe sprinkler system serving essentially all other spaces in the building, on the first floor and second floor respectively. Spaces including but not limited to all office space, conference rooms, storage, laundry, gear spaces, and dorm rooms are covered in these two zones. Zone 2 will include the first and second floor spaces, while Zone 3 covers the basement. This system will be composed of schedule 40 black steel pipe with grooved or threaded fittings. Semi-recessed, white sprinkler heads with a k-factor of 5.6 shall be utilized throughout all spaces with ceilings. Where ceilings do not exist in these spaces, similar white upright heads will be used in finished spaces and bronze upright heads for unfinished spaces. These spaces will be a mix or light hazard and ordinary hazard occupancies. The majority of this area will require 0.10 to 0.15 GPM/SF across a 1500 SF design area.
- 6. The IT room on the first floor will be protected with a dry barrel sidewall sprinkler head. This will prevent any water filled fire protection piping from being routed above the IT Room, to help prevent any possible water damage. The head will also be protected with a security cage to prevent any physical damage that could cause a leak.
- 7. An inspector's test and drain valve will be integral to each zone riser for system testing.
- 8. NFPA 13 requires that wet systems be maintained in areas at or above 40°F, so all spaces within the building will be heated by the HVAC system beyond this temperature.





- 9. The hose training tower will be equipped with a manual dry standpipe system, containing a hose valve at each floor and a fire department connection on the exterior at the first-floor level. The standpipe system shall be a 4" schedule 40 galvanized steel pipe riser extending up to the top floor. Each floor level shall be equipped with a brass gate valve having 2-1/2" threaded male outlet, cap and chain. The dedicated fire department connection on the exterior will be clearly labeled for training use only.
- 10. A dual inlet, flush mounted fire department connection will also be provided on the building to serve the wet pipe sprinkler system.

Plumbing System Description

- The plumbing systems throughout this facility will be designed to meet the 2015
 Wisconsin State Building Code, including the Mechanical Code, Fuel Gas Code, Energy
 Code, and Wisconsin Plumbing Code. These codes provide minimum requirements based
 on occupancy, space type and the sites' climatic location to determine fixture counts,
 hot/cold water demand, building drainage, sanitary and vent system requirements.
- 2. We will coordinate with Platteville Water and Sewer Utility for specific water service requirements, and Alliant Energy for natural gas service requirements.
- 3. The building's combined 6" water service will be split inside the building, to provide a 3" domestic water line which will be metered. The domestic water service will be large enough to accommodate a 2-1/2" truck fill line. Cross contamination control devices will be provided throughout the facility at all hazardous cross connection sources as specified by the Wisconsin Plumbing Code.
- 4. The apparatus bays will have cold domestic water supply provided in each bay for truck washing, and 2-1/2" truck-fill outlet provided between bays. The piping serving these fill outlets will have its own double check type backflow preventer to avoid drinking-water contamination. Hose bibbs will be provided on columns between garage doors.
- 5. Apparatus Bays will be provided with heavy-duty trench drains.
- 6. Plumbing fixtures will be wall mounted vitreous china lavatories, stainless-steel sinks throughout all other spaces, floor mounted water closets with exposed flush valves, and stainless-steel water fountains with bottle filler where required. All showers will have shower handles. There will be dedicated ADA fixtures for the facility. Toilets shall use battery powered sensor flush valves and lavatories shall use battery powered faucets. Faucets on all other sinks and fixtures shall be manually operated.
- 7. Water heating will be provided with a high-efficiency, natural gas, tank-type water heater, with a system wide thermostatic mixing valve. All lavatories will be provided with individual thermostatic mixing valves. The hot water system will have a hot water return piping system, expansion tank and hot water return pump to meet current energy codes.
- 8. Residential laundry will be provided with a combination wall box to provide hot water, cold water, and sanitary discharge for the washing machine. The gear washer/extractor will be





- provided with hot and cold water connections, and a drain trough set in the floor.
- 9. An emergency eyewash station will be provided in each of the in the apparatus bays.
- 10. Steam generators will be provided for each of the Decon shower stalls. The steam generators will be provided with a cold water connection and floor drain. Each generator will be piped into the shower stall and be equipped with a controller for the user to turn the steam on and off.
- 11. Piping associated with the domestic water system will be copper with soldered joints.
- 12. Piping associated with below grade Sanitary and Vent system will be DWV, solid core PVC. Above grade piping will be based on fire rating of the enclosures. Where required, the vent piping located in plenum ceilings will be cast iron soil pipe.
- 13. All flat areas of the roof will be provided with roof drains and storm piping routed down through the building to the storm drain system. Where the roof has a parapet, secondary roof drains will be installed, and will discharge above grade through exterior walls.
- 14. Piping associated with storm system will be insulated DWV, solid core PVC. Above grade piping will be based on fire rating of the enclosures. Where required, the piping will be cast iron soil pipe.
- 15. An air compressor will be provided to serve the apparatus bays. Outlets will be provided at both ends of each bay and as requested.
- 16. Piping associated with compressed air system will be Schedule 40 steel with threaded fittings.
- 17. A garage catch basin will be provided for the Fire Apparatus Bays per Wisconsin state code. The catch basins will be located beneath the floor slab in a location near the overhead doors to make clean out and maintenance easy.





Structural Narrative



SCHEMATIC DESIGN – STRUCTURAL NARRATIVE

PROJECT DESCRIPTION

The new Platteville Fire Station, located in Platteville, Wisconsin, will be a two-story essential facility building. The first-floor level will consist of lobby space, offices, a training/community room, back of house support services and a seven stall Fire Apparatus Bay. The second floor will consist of dorm rooms, kitchen and day room space, an exercise room, mechanical/mezzanine space and exterior patio. There will be an elevator and two stair towers with one doubling as a hose/training. The project will also include an alternate for a +/-8,100 square foot basement below a portion of the first-floor office/back of house spaces.

The following information is to be used in conjunction with the schematic structural drawings to qualitatively describe the proposed structural systems for this project.

FOUNDATION

The new building structure will be supported on conventional reinforced concrete spread footings and concrete foundation walls. The project specific geotechnical evaluation report prepared by Chosen Valley Testing, Inc., report no. 20919.22.WIL, recommends that soil corrections be performed beneath portions of the proposed building prior to placing footings and foundation walls. See the report for additional information on the soil corrections and for additional site preparation requirements.

For the basement alternate, restrained concrete basement walls will be used at the perimeter and will be braced by the basement floor slab at the bottom and the first-floor level framing at the top. Drain tile will be used at the exterior perimeter of all foundations to control and reduce the effects of ground water.

WALL CONSTRUCTION

The exterior walls of the apparatus bays and back-of-house areas will be 12" load bearing CMU walls. The exterior walls of the one-story office area will be a combination of 8" load bearing CMU walls and 6" load bearing steel stud walls. Interior CMU bearing walls will be used to support the loads from above where appropriate. Non-load bearing walls will consist of a combination of steel studs and non-load bearing CMU in conjunction with the architectural program.

FLOOR FRAMING

The first-floor level will be concrete slabs on grade. The slab in the office areas will be a 4" thick and reinforced with synthetic fibers. The slab in the Fire Apparatus Bay will be 7" thick and mild reinforced with #4 at 1'-4" on center each way. An additional inch of concrete should be added to the slab thickness if/where radiant heating will be placed within the slabs.

The first-floor framing over the alternate basement will be 10" precast concrete floor plank with a 3" non-structural concrete topping. The floor planks will be supported on concrete basement walls at the basement perimeter and load bearing CMU walls at the interior.



The second-floor level will be 10" precast concrete floor plank with a 3" non-structural concrete topping. The floor planks will be supported on CMU bearing walls and structural steel beams and columns.

ROOF FRAMING

The roof structures will consist of 1 ½" steel roof deck (1.5B) over open web steel joists spaced at 5'-0" on center. Actual spacing of joists may vary to accommodate snow drift loading and mechanical rooftop units. The roof joists will be supported on a combination of CMU and light gauge steel bearing walls, and structural steel beams and columns.

LATERAL SYSTEM

Lateral forces on the building will be resisted by the roof and floor diaphragms, CMU shear walls and light gauge steel framed shear walls sheathed with SureBoard and attached with mechanical holdowns.

BUILDING CODES AND REFERENCES

BUILDING CODES

- 2018 Wisconsin Administrative Code, Chapter SPS 362. [a]
- 2015 International Building Code (IBC). [b]

REFERENCES

- Minimum Design Loads for Buildings and Other Structure, ASCE 7-10. [c]
- Concrete: Building Code Requirements for Structural Concrete and Commentary, American Concrete Institute, ACI 318-14. [d]
- Masonry: Building Code Requirements for Masonry Structures, American Concrete Institute, ACI 530-13 / TMS 402-13 / ASCE 5-13. [e]
- Structural Steel: Specification for Structural Steel Buildings, Fourteenth Edition, American Institute of Steel Construction, AISC 360-10. [f]
- Cold Formed Steel: North American Specification for the Design of Cold-Formed steel Structural Members, AISI 2012. [g]



LOADING CRITERIA

The following is a summary of the project-specific loading criteria. This loading meets or exceeds the requirements of the IBC and incorporates loading requirements specific to this project.

GRAVITY LOADING

The following loads are in addition to the self-weight of the structure. The minimum loading requirements have been taken from Table 1607.1 of the International Building Code. Live loads are reduced where permitted in accordance with Section 1607.10. Loads are given in pounds per square foot (psf).

Table 1. Gravity Loads

Use	Live Loading	Superimposed Dead Loading
Offices	50 psf (reducible)	5 psf MEP/Ceiling 15 psf Partitions = 20 psf Total SDL
Training Room and Public Areas	100 psf (not reduced)	5 psf MEP/Ceiling 5 psf Partitions 10 psf Total SDL
Exercise Room	80 psf (not reduced)	5 psf MEP/Ceiling 5 psf Misc. = 10 psf Total SDL
Kitchen and Day Room	60 psf (not reduced)	5 psf MEP/Ceiling 5 psf Misc. = 10 psf Total SDL
Dorm Rooms	40 psf (not reduced)	5 psf MEP/Ceiling 5 psf Misc. = 10 psf Total SDL
Hose Tower Stairs and Landings	100 psf (not reduced)	5 psf MEP/Ceiling 5 psf Misc. = 10 psf Total SDL
Mechanical and Light Storage	125 psf (not reduced)	5 psf MEP/Ceiling 5 psf Partitions = 10 psf Total SDL
Command Garage	HS15 AASHTO Truck Loading	
Fire Apparatus Bay	HS20 AASHTO Truck Loading	



SNOW DESIGN CRITERIA

Snow loading is in accordance with the 2018 Wisconsin Commercial Building Code and ASCE 7-10 requirements. Snow drifting, unbalanced loading and partial loading are considered in the design of the roof framing.

Table 2. Snow Design Criteria

Parameter	Value				
Ground Snow Load (Pg)	30 psf				
Exposure	Terrain Category C				
Exposure Factor (C _e)	1.0				
Thermal Factor (Ct)	1.0				
Importance Factor (I _s)	1.2				
Flat Roof Snow Load (p _f) p _f = 0.7C _e C _t I _s p _g	25 psf				

WIND DESIGN CRITERIA

Wind loading is in accordance with the 2018 Wisconsin Commercial Building Code and ASCE 7-10 requirements.

Table 3. Wind Design Criteria

Parameter	Value
Basic Wind Speed, 3-second gust (V)	120 mph Ultimate 93 mph Allowable
Exposure	С
Risk Category	IV
Enclosure Classification	Enclosed
Internal Pressure Coefficient (GC _{pi})	±0.18
Mean Roof Height (h)	16 to 25 feet



SEISMIC DESIGN CRITERIA

Seismic loading is in accordance with the 2018 Wisconsin Commercial Building Code and ASCE 7-10 requirements.

Table 4. Seismic Design Criteria

Parameter	Value
Coordinates	42.7383 Deg. West 90.4782 Deg. North
Risk Category	IV
Site Class	D (default)
Importance Factor	1.5
Mapped Spectral Acceleration Parameters	$S_S = 0.075$ $S_1 = 0.046$
Spectral Response Coefficients	S _{DS} = 0.080 S _{D1} = 0.074
Seismic Design Category	С



MATERIALS

The material properties used for design include the following:

Table 5. Material Properties

Member	Strength
Non-structural Concrete	f'c = 3.0 ksi at 28 days
Interior Slabs on Grade, Sidewalks, Curbs, Mechanical Pads	f'c = 4.0 ksi at 28 days
Exterior Slabs on Grade, Sidewalks, Curbs, Mechanical Pads	f'c = 4.5 ksi at 28 days
Concrete Footings and Foundation Walls	f'c = 4.0 ksi at 28 days
8" Masonry Walls	f'm = 2.5 ksi at 28 days
12" Masonry Walls	f'm = 2.5 ksi at 28 days
Concrete and Masonry Reinforcing Steel	60 ksi
Structural Steel – W Shapes	Fy = 50 ksi, ASTM A992
Structural Steel – Angles, Channels and Plates	Fy = 36 ksi, ASTM A36
Structural Steel – Pipes	Fy = 35 ksi, ASTM A53
Structural Steel – Square or Rectangular Tubes	Fy = 46 ksi, ASTM A500

Schematic Design Drawings



CITY OF PLATTEVILLE

PLATTEVILLE FIRE STATION PLATTEVILLE, WI 53818

SCHEMATIC DESIGN 04.07.2023



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Project No. 608901

DRAWING INDEX

GENERAL C001

G001 COVER PAGE G101 CODE COMPLIANCE PLANS

CIVIL
C300 OVERALL GRADING AND EROSION CONTROL PLAN

STRUCTURAL S101 ALTERNA

S101 ALTERNATE MAIN FLOOR FRAMING PLAN S102 SECOND FLOOR / LOW ROOF FRAMING PLAN S103 ROOF FRAMING PLAN

ARCHITECTURAL

A101 ALTERNATE BASEMENT DIMENSION PLAN
A102 ALTERNATE BASEMENT FLOOR PLAN
A111 FIRST FLOOR DIMENSION PLAN

A112 FIRST FLOOR PLAN
A121 SECOND FLOOR DIM

A121 SECOND FLOOR DIMENSION PLAN
A122 SECOND FLOOR PLAN

A150 ROOF PLAN
A201 ENLARGED PLANS
A301 ELEVATIONS

A350 BUILDING SECTIONS
A351 BUILDING SECTIONS

ISOMETRIC ELEVATIONS

INTERIOR DESIGN

I101 FIRST FLOOR FINISH PLANI102 SECOND FLOOR FINISH PLAN

<u>MECHANIC</u>

M100 FIRST FLOOR PLANS ZONING
M101 MEZZANINE / SECOND FLOOR PLAN ZONING

ALTERNATE BUILDING SECTIONS

CITY OF PLATTEVILLE

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN

PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701

877.293.6335
leysnogle@wendelcompanies.com
tschroeder@wendelcompanies.com
CIVIL ENGINEER

CIVIL ENGINEER

JSD PROFESSIONAL SERVICES, INC.

MATT HAASE, PE

161 HORIZON DR., SUITE 101

VERONA, WI 53593

608.848.5060

matt.haase@jsdinc.com

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995

MECHANICAL WENDEL NATHANIEL NIVER

tom@nce-duluth.com

375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221

nniver@wendelcompanies.com

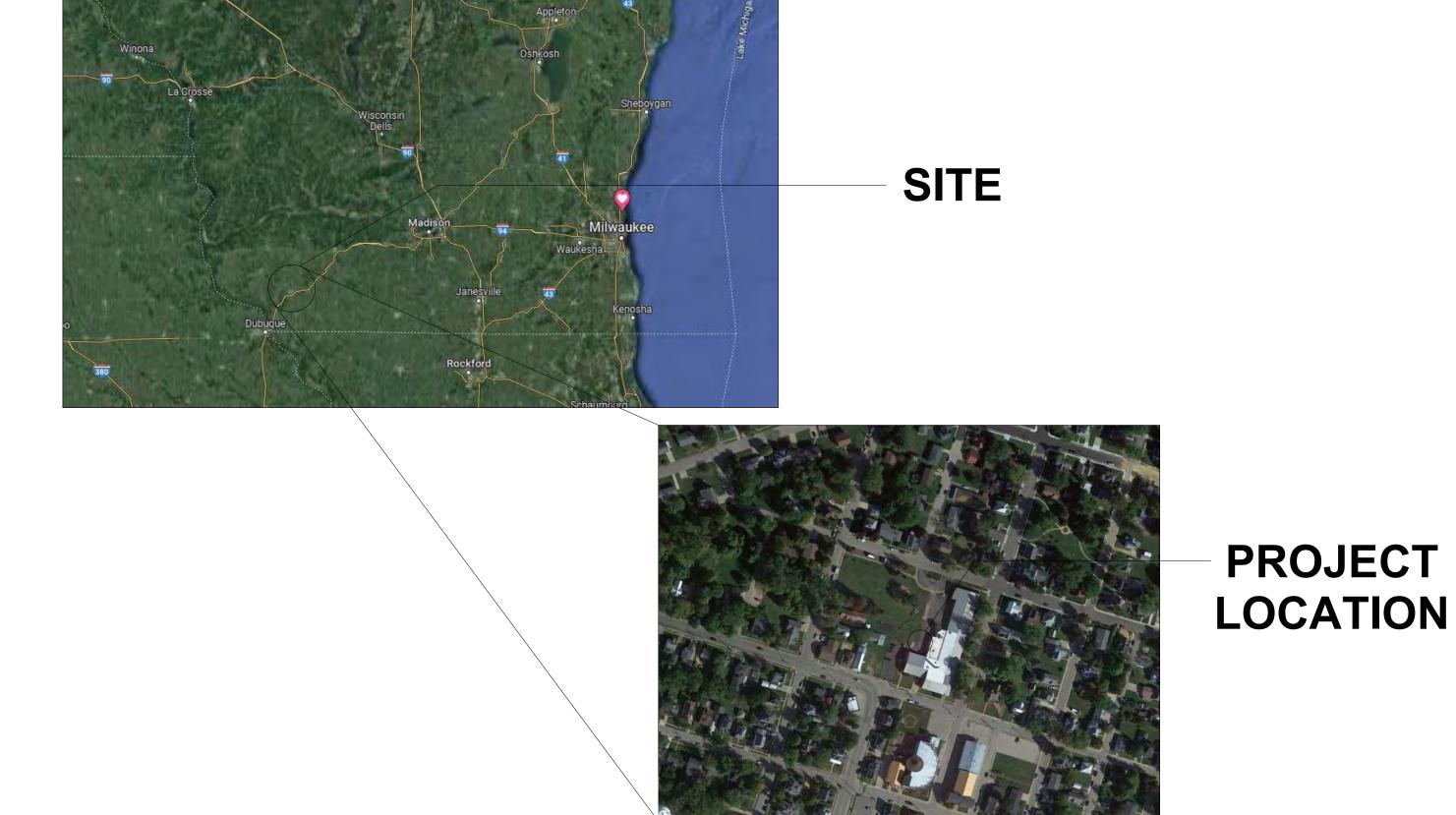
ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200

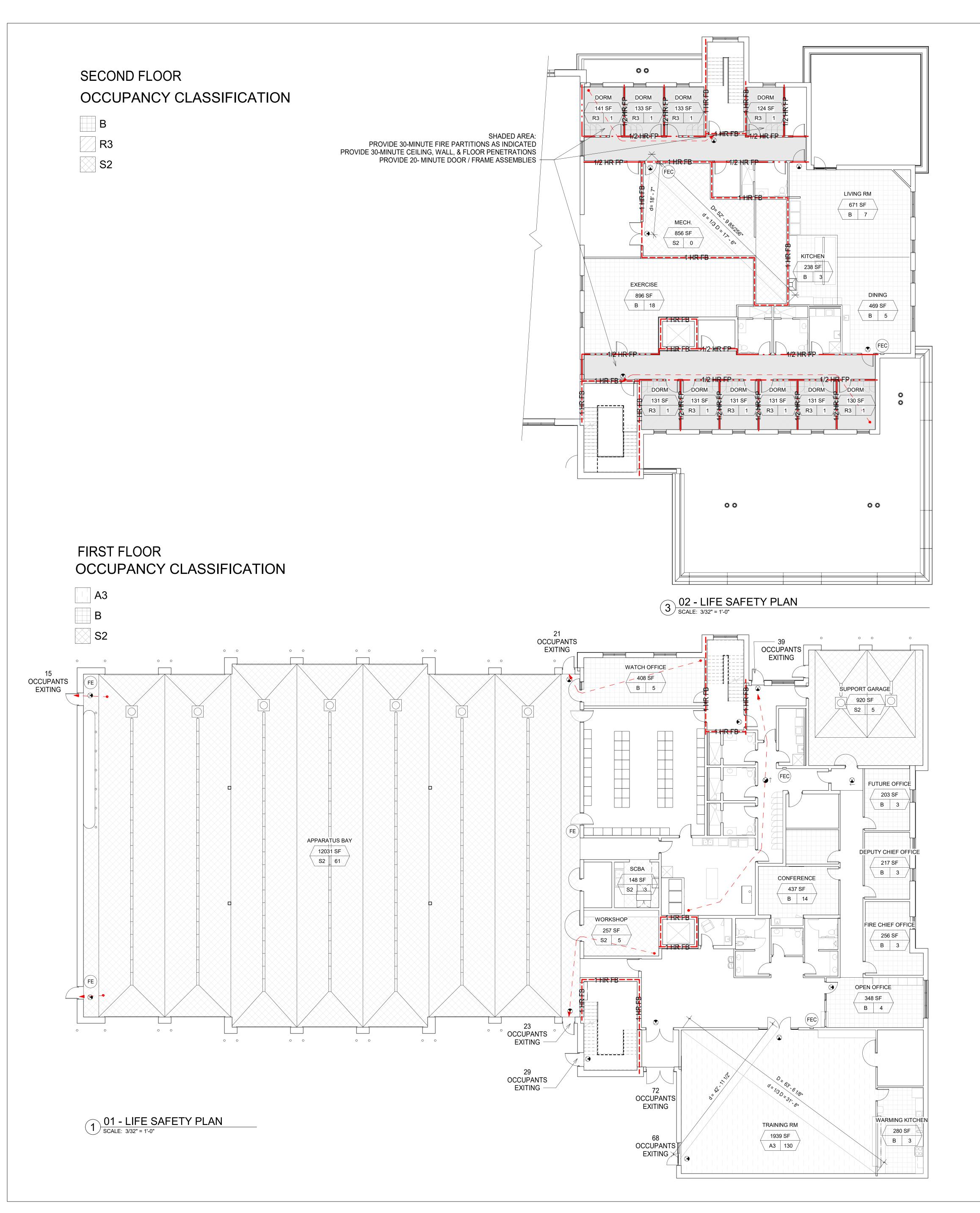
WILLIAMSVILLE, NY 14221

jrauen@wendelcompanies.com

877.293.6335

877.293.6335





CODE SYMBOL LEGEND



BUILDING CODE INFORMATION:

PROJECT LOCATION:

155 W LEWIS STREET PLATTEVILLE, WI 53818

PROJECT SCOPE: **NEW FIRE STATION**

BUILDING AND FIRE CODES:

- 2015 BUILDING CODE AS AMENDED BY THE STATE OF WISCONSIN: 2015 INTERNATIONAL BUILDING CODE (IBC)
 - 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2015 INTERNATIONAL PLUMBING CODE (IPC)
 - 2015 INTERNATIONAL MECHANICAL CODE (IMC)
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015 NFPA 70, NATIONAL ELECTRIC CODE (NEC)
 - 2015 WISCONSIN AMENDMENTS 2015 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

OCCUPANCY CLASSIFICATION: MAIN OCCUPANCIES:

BUSINESS - B STORAGE - S2 ACCESSORY OCCUPANCIES: RESIDENTIAL - R3 ASSEMBLY - A3 TYPE OF CONSTRUCTION: TYPE 2B

FULLY SPRINKLERED: BUILDING HEIGHT AND AREA:

ALLOWABLE BUILDING HEIGHT, STORIES: **BUSINESS - B** STORAGE - S2 RESIDENTIAL - R3 **ACTUAL BUILDING HEIGHT:**

ALLOWABLE BUILDING AREA: **BUSINESS - B** STORAGE - S2 RESIDENTIAL - R3

ACTUAL BUIDING AREA: **CODE MODIFICATIONS:** DESCRIPTION

32,078 SF STATUS

75 FEET / 4

75 FEET / 4

75 FEET / 5

69,000 SF

78,000 SF

UNLIMITED

38 FEET, 2 STORIES

OCCUPANCY SCHEDULE (LIFE SAFETY PLANS)

FUNCTION OF SPACE	GROUP	OCCUPANT	AREA	S	LEVEL	COMMENTS
Not Placed						
R3						
DORM	R3		Not Placed	1	Not Placed	OCCUPANCY BASED ON ACTUAL USE
	,		0 SF	'		
FIRST FLOOR						
A3						
TDAINING DM	۸.2	15	1020 SE	120	EIDST ELOOD	

TRAINING RM	A3	15	1939 SF	130	FIRST FLOOR	
В	•		•	•		
WARMING KITCHEN	В	100	280 SF	3	FIRST FLOOR	
OPEN OFFICE	В	100	348 SF	4	FIRST FLOOR	
FIRE CHIEF OFFICE	В	100	256 SF	3	FIRST FLOOR	
DEPUTY CHIEF OFFICE	В	100	217 SF	3	FIRST FLOOR	
FUTURE OFFICE	В	100	203 SF	3	FIRST FLOOR	
CONFERENCE	В	100	437 SF	14	FIRST FLOOR	OCCUPANCY BASED ON ACTUAL USE
WATCH OFFICE	В	100	408 SF	5	FIRST FLOOR	
S2	•			239		
WORKSHOP	S2	60	257 SF	5	FIRST FLOOR	
SCBA	S2	60	148 SF	3	FIRST FLOOR	
APPARATUS BAY	S2	200	12031 SF	61	FIRST FLOOR	
SUPPORT GARAGE	S2	200	920 SF	5	FIRST FLOOR	

SECOND FLOOR

В					
LIVING RM	В	671 SF	7	SECOND FLOOR	
KITCHEN	В	238 SF	3	SECOND FLOOR	
DINING	В	469 SF	5	SECOND FLOOR	
EXERCISE	В	896 SF	18	SECOND FLOOR	
R3			·		
DORM	R3	141 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	133 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	133 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	124 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	130 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	131 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	131 SF	1	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	131 SF	43	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	131 SF	282	SECOND FLOOR	OCCUPANCY BASED ON ACTUAL USE
DORM	R3	131 SF	1	SECOND FLOOR	
S2	1	'	-	·	'

SECOND FLOOR

BUILDING TOTAL

856 SF 4448 SF 21890 SF

				PLUME	BING FIX	KTURE	COUNT	S					
OCCUPANT TOTALS	REQUIRED	REQUIRED	REQUIRED	REQUIRED	REQUIRED	REQUIRED	REQUIRED	REQUIRED	SUBTOTAL	TOTAL	PROVIDED	PROVIDED	TOTAL
A3 = 130 S-2 = 74 B = 68 R-3 = 10	USE GROUP A3. FIRST 50		USE GROUP B. OVER 50		USE GROUP B. OVER 80	USE GROUP B	USE GROUP S-2	USE GROUP R-3	REQUIRED	REQUIRED	FIRST FLOOR	SECOND FLOOR	PROVIDED
WATER CLOSETS, UNISEX									0	0	4	3	
WATER CLOSETS, FEMALE	1 PER 65	1 PER 25	1 PER 50				1 PER 100	1 PER 10	2.55	3	2		10
WATER CEOSETS, I EMALE	1.00	0.68	0				0.37	0.5	2.00	3	2		WATER
WATER CLOSETS, MALE	1 PER 125	1 PER 25	1 PER 50				1 PER 100	1 PER 10	2.07	3	1		CLOSETS
WATER GEOGETO, WALE	0.52	0.68	0				0.37	0.5	2.07		I		
URINALS									0	0	1	0	1
LAVATORIES, UNISEX									0	0	4	3	
LAVATORIES, FEMALE	1 PER 200			1 PER 40	1 PER 80		1 PER 100	1 PER 10	2.37	3	2	0	
LAVATORIES, I LIMALE	0.65			0.85	0		0.37	0.5	2.51	3	2	U	7
LAVATORIES,MALE	1 PER 200			1 PER 40	1 PER 80		1 PER 100	1 PER 10	2.37	2	2	0	LAVATORIES
LAVATORIES, IVIALE	0.65			0.85	0		0.37	0.5	2.51	2	2		
SHOWER, UNISEX								1 PER 8	1.25	2	3	3	6
								1.25	1.20	2	3	3	U
DRINKING FOUNTAINS						1 PER 100	1 PER 1000	1 PER 100	0.85 2	2	0	2	
DRINKING FOUNTAINS						0.68	0.07	0.10	0.05	2	2	U	
SERVICE SINKS										1	6	3	10

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com

p:715.832.4848 tf:877.293.6335 Wendel Architecture, P.C

PROJECT TEAM

<u>ARCHITECT</u>

LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335

leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com **CIVIL ENGINEER**

JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806

MECHANICAL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

218.727.5995

tom@nce-duluth.com

877.293.6335 nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION

NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

jrauen@wendelcompanies.com

877.293.6335

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS
AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE
ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS

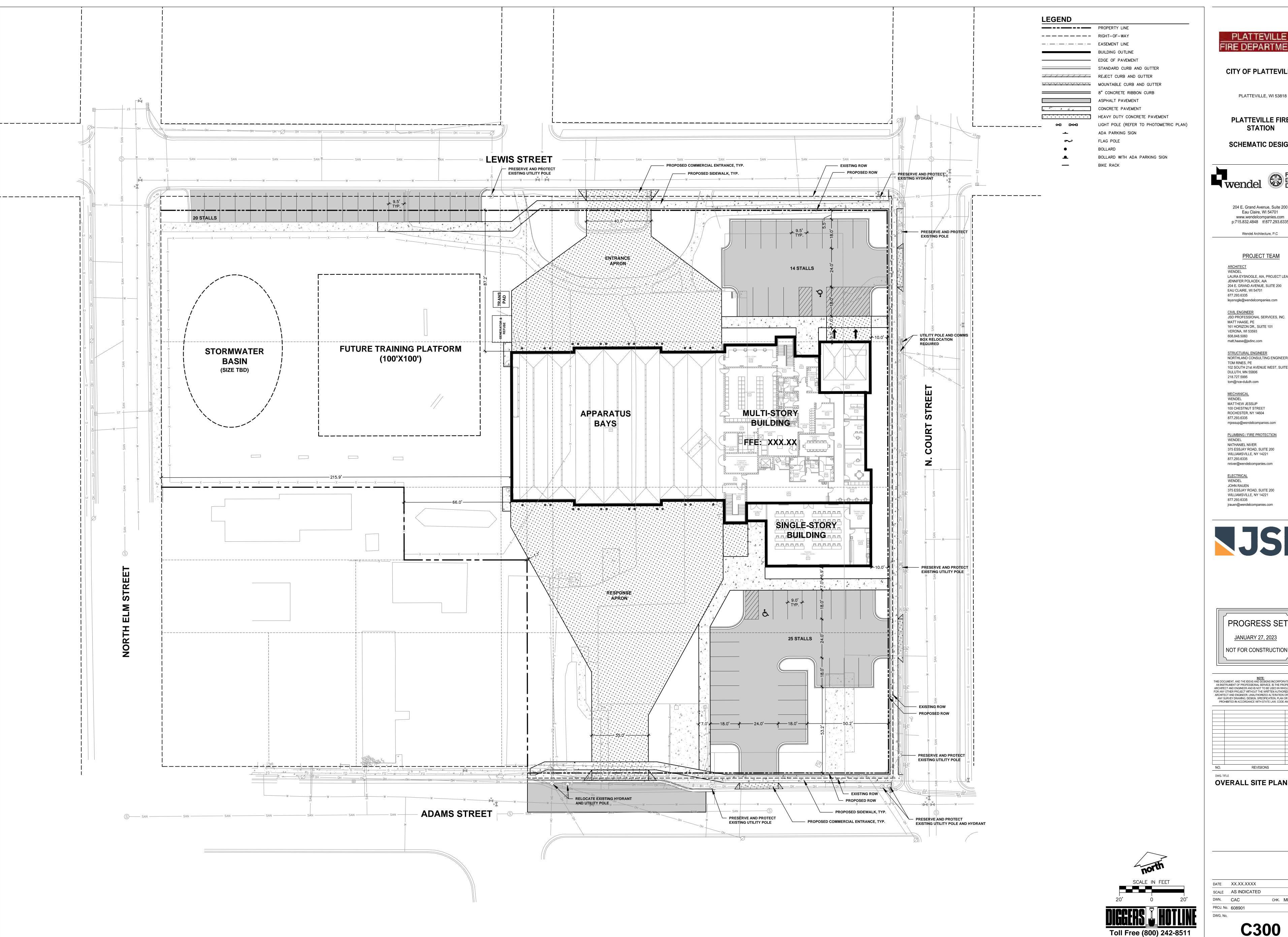
CODE COMPLIANCE PLANS

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE As indicated DWN. Author CHK. Checker

G101

PROJ. No. 608901





CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com

p:715.832.4848 tf:877.293.6335

LAURA EYSNOGLE, AIA, PROJECT LEAD JENNIFER POLACEK, AIA 204 E. GRAND AVENUE, SUITE 200

leysnogle@wendelcompanies.com CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE

161 HORIZON DR., SUITE 101 VERONA, WI 53593 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995

MECHANICAL WENDEL

100 CHESTNUT STREET ROCHESTER, NY 14604 877.293.6335

mjessup@wendelcompanies.com

PLUMBING / FIRE PROTECTION WENDEL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200

WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

ELECTRICAL WENDEL

JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com



PROGRESS SET JANUARY 27, 2023

NOTE:

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS DEDURING IN ACCORDANCE WITH STATE I AM COORDAND BULLES.

REVISIONS

OVERALL SITE PLAN

DATE XX.XX.XXXX DWN. CAC

SCALE AS INDICATED

PROJ. No. 608901

C300

BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL DIMENSIONAL PLAN NOTES

SIDE OF STUD 1.2 MASONRY WALLS: OUTSIDE OF FINISHED WALL SURFACE TO OUTSIDE OF FINISHED WALL SURFACE.

1.3 OPENINGS: INSIDE FACE OF OPENING. 2. INTERIOR DIMENSIONS:

2.1 STUD WALLS: FACE OF STUD, NOMINAL. 2.2 CMU WALLS: FACE OF CMU, NOMINAL. 2.2 OPENINGS: INSIDE FACE OF OPENING. DOOR DIMENSIONS:

3.1 CMU HINGE SIDE OF DOOR FRAMES IN WALLS SHALL BE 8" FROM PERPENDICULAR WALL, UNO.

3.2 GYP. BD. HINGE SIDE OF DOOR FRAMES IN SHALL BE 6" FROM PERPENDICULAR WALL, UNO.

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701

www.wendelcompanies.com p:715.832.4848 tf:877.293.6335 Wendel Architecture, P.C

PROJECT TEAM

<u>ARCHITECT</u> WENDEL

LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335 leysnogle@wendelcompanies.com

tschroeder@wendelcompanies.com CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060

matt.haase@jsdinc.com STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806

218.727.5995 tom@nce-duluth.com <u>MECHANICAL</u> WENDEL NATHANIEL NIVER

877.293.6335 nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335

375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

nniver@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS DWG. TITLE

ALTERNATE BASEMENT

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 02.28.2023 SCALE As indicated DWN. Author CHK. Checker

A101

PROJ. No. 608901

TRUE NORTH N

1. EXTERIOR DIMENSIONS:

1.1 EXTERIOR STUD WALLS: FACE OF EXTERIOR SIDE OF STUD 1.2 MASONRY WALLS: OUTSIDE OF FINISHED WALL SURFACE TO OUTSIDE OF FINISHED WALL 1.3 OPENINGS: INSIDE FACE OF OPENING.

INTERIOR DIMENSIONS: 2.1 STUD WALLS: FACE OF STUD, NOMINAL. 2.2 CMU WALLS: FACE OF CMU, NOMINAL. 2.2 OPENINGS: INSIDE FACE OF OPENING. DOOR DIMENSIONS:

3.1 CMU HINGE SIDE OF DOOR FRAMES IN WALLS SHALL BE 8" FROM PERPENDICULAR WALL, UNO.

3.2 GYP. BD. HINGE SIDE OF DOOR FRAMES IN SHALL BE 6" FROM PERPENDICULAR WALL, UNO.

PLATTEVILLE FIRE STATION SCHEMATIC DESIGN

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

<u>ARCHITECT</u> LAURA EYSNOGLE, AIA

TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335 leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com

CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995 tom@nce-duluth.com

<u>MECHANICAL</u> NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

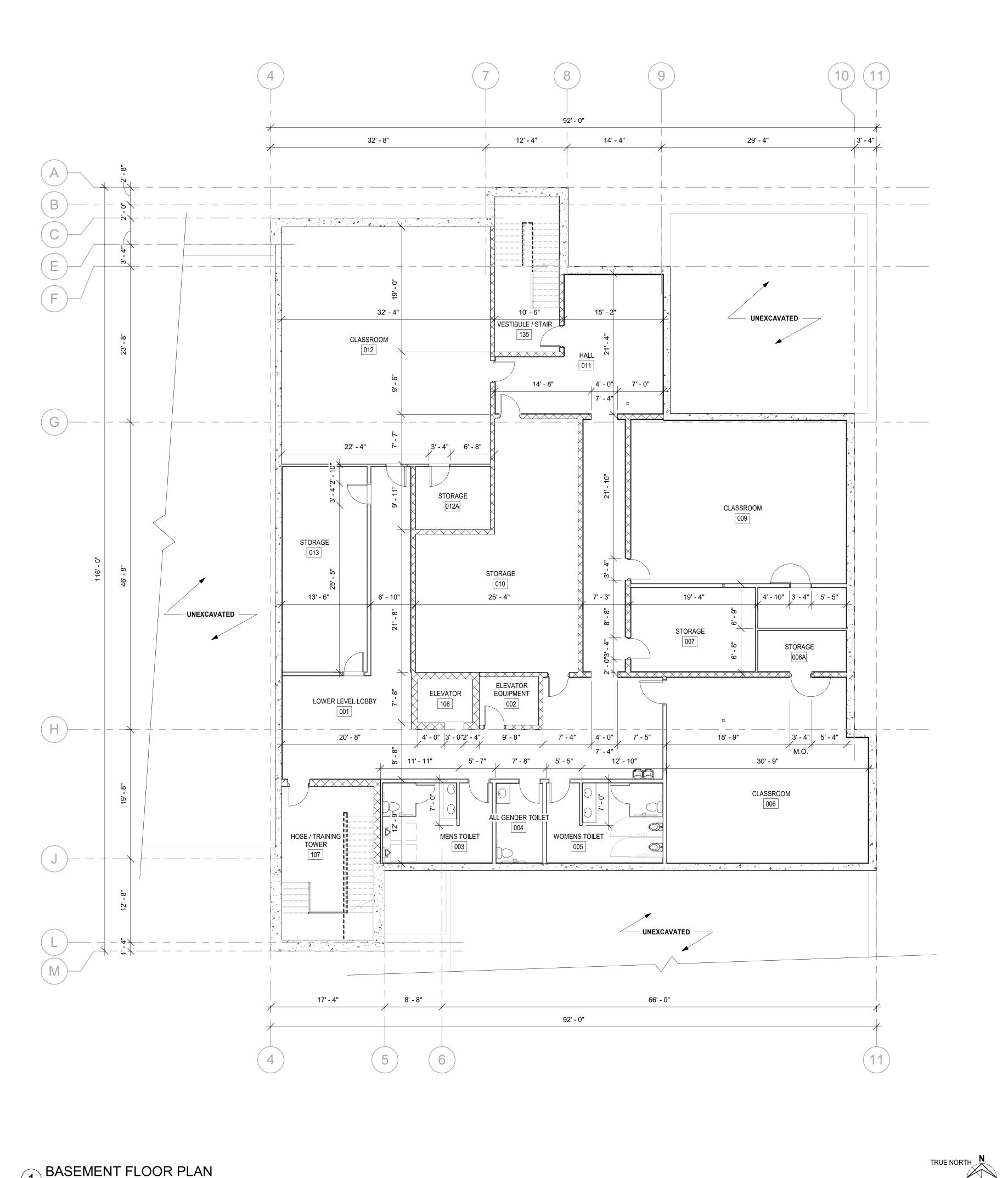
NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS
AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE
ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

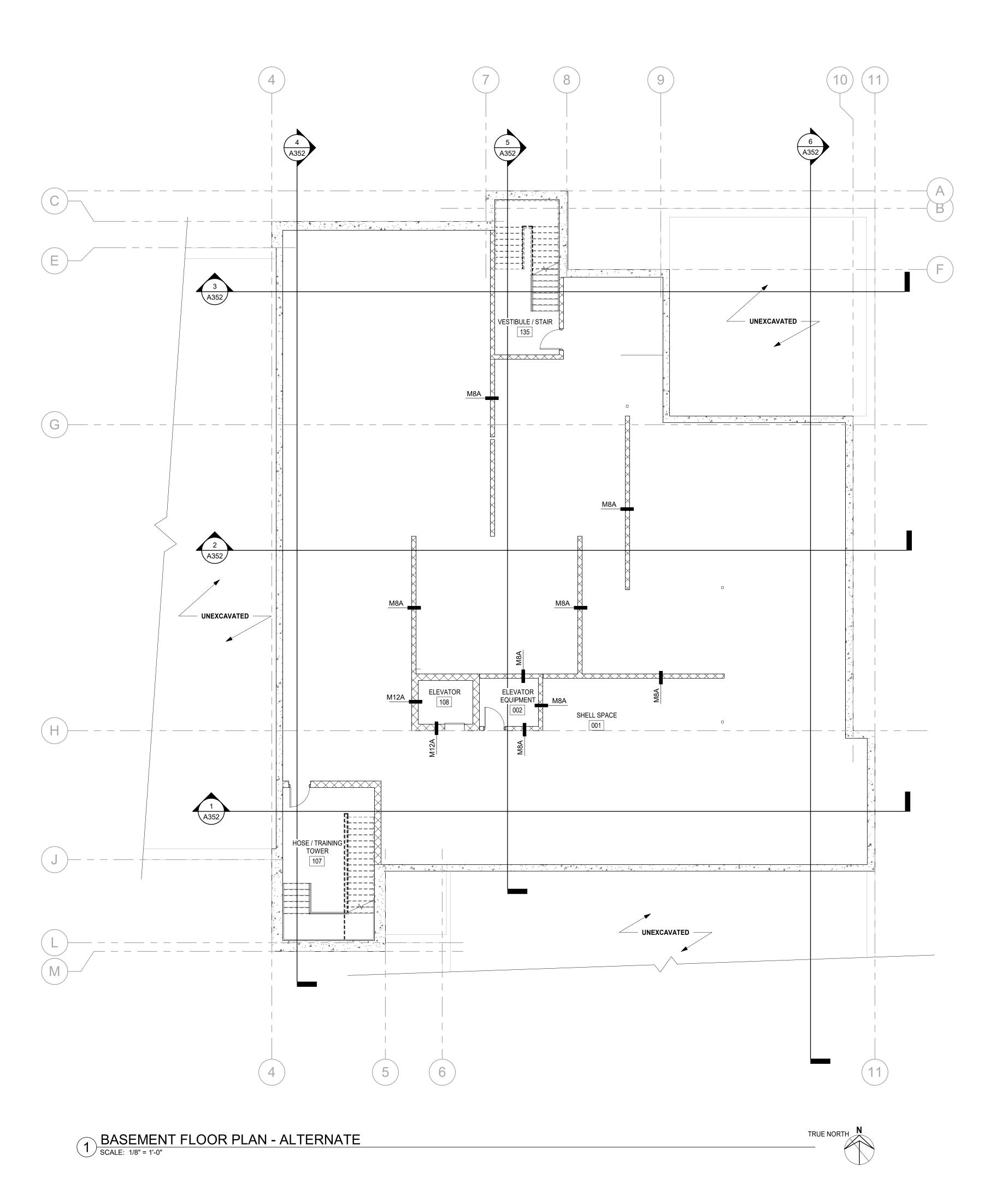
REVISIONS

ALTERNATE BASEMENT

DATE 04.07.2023 CHK. Checker PROJ. No. 608901

A101





GENERAL CONSTRUCTION NOTES

A. FIRE EXTINGUISHERS

□ (FEC) = RECESSED IN WALL

COORDINATE WITH OWNER BEFORE GYPSUM BOARD INSTALLATION FOR ANY WOOD BLOCKING REQUIRED FOR OWNER PROVIDED EQUIPMENT.

FIRE BLANKET

- REFER TO STRUCTURAL DRAWINGS FOR EXACT
- LOCATIONS OF COLUMNS. D. SEE SHEET G002 FOR CODE PLAN AND LOCATIONS OF
- FIRE RATED CONSTRUCTION. CONSTRUCTION NOTES LISTED ON SHEETS A102, A103 AND 104 ARE TYPICAL TO THOSE SHEETS. SOME NOTES MAY NOT BE REFERENCED ON EACH SHEET.
 - MOVEMENT JOINTS → = CMU CONTROL JOINT (24'-0" O.C. MAX) REFER TO SPECIFICATIONS. ALL PARTITIONS, INCLUDING ACCOUSTICAL INSULATION

(IF REQUIRED), SHALL EXTEND TO ROOF / FLOOR DECK

FLOOR PLAN KEY NOTES

ABOVE, UNLESS NOTED OTHERWISE.

EQUIPMENT KEY NOTES

EQ.1 RESIDENTIAL WASHING MACHINE. BY OWNER - OWNER

EQ.2 RESIDENTIAL DRYING MACHINE. BY OWNER - OWNER EQ.3 WASHER / EXTRACTOR. BY OWNER - OWNER INSTALL

EQ.4 GEAR DRYER. BY OWNER - OWNER INSTALL EQ.5 SCBA COMPRESSOR. BY OWNER - OWNER INSTALL

EQ.6 SCBA FILL STATION. BY OWNER - OWNER INSTALL

EQ.7 TV. BY OWNER - OWNER INSTALL EQ.8 REFRIGERATOR / FREEZER. BY OWNER - OWNER

EQ.9 RANGE. BY OWNER - OWNER INSTALL

EQ.10 RANGE HOOD. BY CONTRACTOR - CONTRACTOR

EQ.11 MICROWAVE. BY OWNER - OWNER INSTALL

EQ.12 DISHWASHER. BY OWNER - OWNER INSTALL

EQ.13 HOSE HOIST. BY CONTRACTOR - CONTRACTOR INSTALL EQ.14 UNDER COUNTER REFRIGERATOR. BY OWNER - OWNER

EQ.15 PPE GEAR LOCKERS. BY OWNER - OWNER INSTALL

EQ.16 COPIER. BY OWNER - OWNER INSTALL

EQ.17 HOSE CART. BY OWNER - OWNER INSTALL

EQ.18 VEHICLE EXHAUST. BY OWNER - OWNER INSTALL

EQ.22 MARKER BOARD. BY OWNER - OWNER INSTALL

EQ.19 GAS GRILL. BY OWNER - OWNER INSTALL

EQ.20 GARBAGE / RECYCLING

EQ.21 SCBA EXTRACTOR. BY OWNER - OWNER INSTALL

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE

SCHEMATIC DESIGN

STATION



204 E. Grand Avenue, Suite 200

Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

<u>ARCHITECT</u> WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200

608.848.5060

877.293.6335

877.293.6335

EAU CLAIRE, WI 54701 877.293.6335 leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com

CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593

matt.haase@jsdinc.com STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806

218.727.5995 tom@nce-duluth.com <u>MECHANICAL</u> NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

nniver@wendelcompanies.com ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335

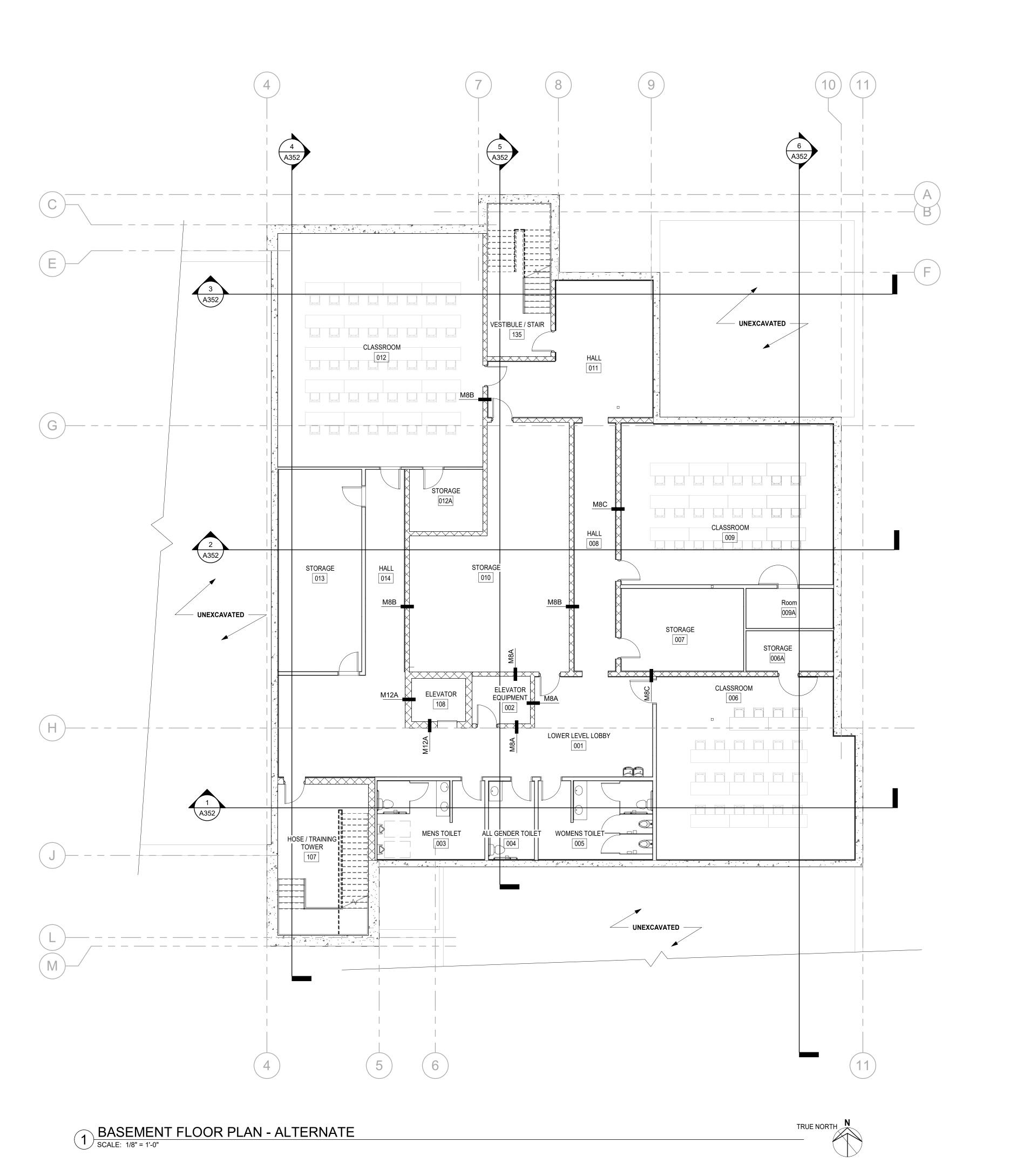
jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS
AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE
ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS

ALTERNATE BASEMENT FLOOR PLAN

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 02.28.2023 DWN. KDS PROJ. No. 608901



GENERAL CONSTRUCTION NOTES

A. FIRE EXTINGUISHERS

□ (FEC) = RECESSED IN WALL

COORDINATE WITH OWNER BEFORE GYPSUM BOARD INSTALLATION FOR ANY WOOD BLOCKING REQUIRED FOR OWNER PROVIDED EQUIPMENT.

FIRE BLANKET

- REFER TO STRUCTURAL DRAWINGS FOR EXACT
- LOCATIONS OF COLUMNS. SEE SHEET G002 FOR CODE PLAN AND LOCATIONS OF
- FIRE RATED CONSTRUCTION. CONSTRUCTION NOTES LISTED ON SHEETS A102, A103 AND 104 ARE TYPICAL TO THOSE SHEETS. SOME NOTES MAY NOT BE REFERENCED ON EACH SHEET. MOVEMENT JOINTS
 - → = CMU CONTROL JOINT (24'-0" O.C. MAX) REFER TO SPECIFICATIONS. ALL PARTITIONS, INCLUDING ACCOUSTICAL INSULATION (IF REQUIRED), SHALL EXTEND TO ROOF / FLOOR DECK

FLOOR PLAN KEY NOTES

ABOVE, UNLESS NOTED OTHERWISE.

EQUIPMENT KEY NOTES

EQ.1 RESIDENTIAL WASHING MACHINE. BY OWNER - OWNER EQ.2 RESIDENTIAL DRYING MACHINE. BY OWNER - OWNER

EQ.3 WASHER / EXTRACTOR. BY OWNER - OWNER INSTALL EQ.4 GEAR DRYER. BY OWNER - OWNER INSTALL

EQ.5 SCBA COMPRESSOR. BY OWNER - OWNER INSTALL EQ.6 SCBA FILL STATION. BY OWNER - OWNER INSTALL

EQ.7 TV. BY OWNER - OWNER INSTALL EQ.8 REFRIGERATOR / FREEZER. BY OWNER - OWNER

EQ.9 RANGE. BY OWNER - OWNER INSTALL EQ.10 RANGE HOOD. BY CONTRACTOR - CONTRACTOR

EQ.11 MICROWAVE. BY OWNER - OWNER INSTALL EQ.12 DISHWASHER. BY OWNER - OWNER INSTALL

EQ.13 HOSE HOIST. BY CONTRACTOR - CONTRACTOR INSTALL EQ.14 UNDER COUNTER REFRIGERATOR. BY OWNER - OWNER

EQ.15 PPE GEAR LOCKERS. BY OWNER - OWNER INSTALL

EQ.16 COPIER. BY OWNER - OWNER INSTALL

EQ.17 HOSE CART. BY OWNER - OWNER INSTALL EQ.18 VEHICLE EXHAUST. BY OWNER - OWNER INSTALL

EQ.19 GAS GRILL. BY OWNER - OWNER INSTALL

EQ.20 GARBAGE / RECYCLING EQ.21 SCBA EXTRACTOR. BY OWNER - OWNER INSTALL

EQ.22 MARKER BOARD. BY OWNER - OWNER INSTALL

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com

p:715.832.4848 tf:877.293.6335

PROJECT TEAM

Wendel Architecture, P.C

<u>ARCHITECT</u> WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335

leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com **CIVIL ENGINEER** JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593

matt.haase@jsdinc.com STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995

MECHANICAL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

tom@nce-duluth.com

608.848.5060

PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

877.293.6335

nniver@wendelcompanies.com ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335

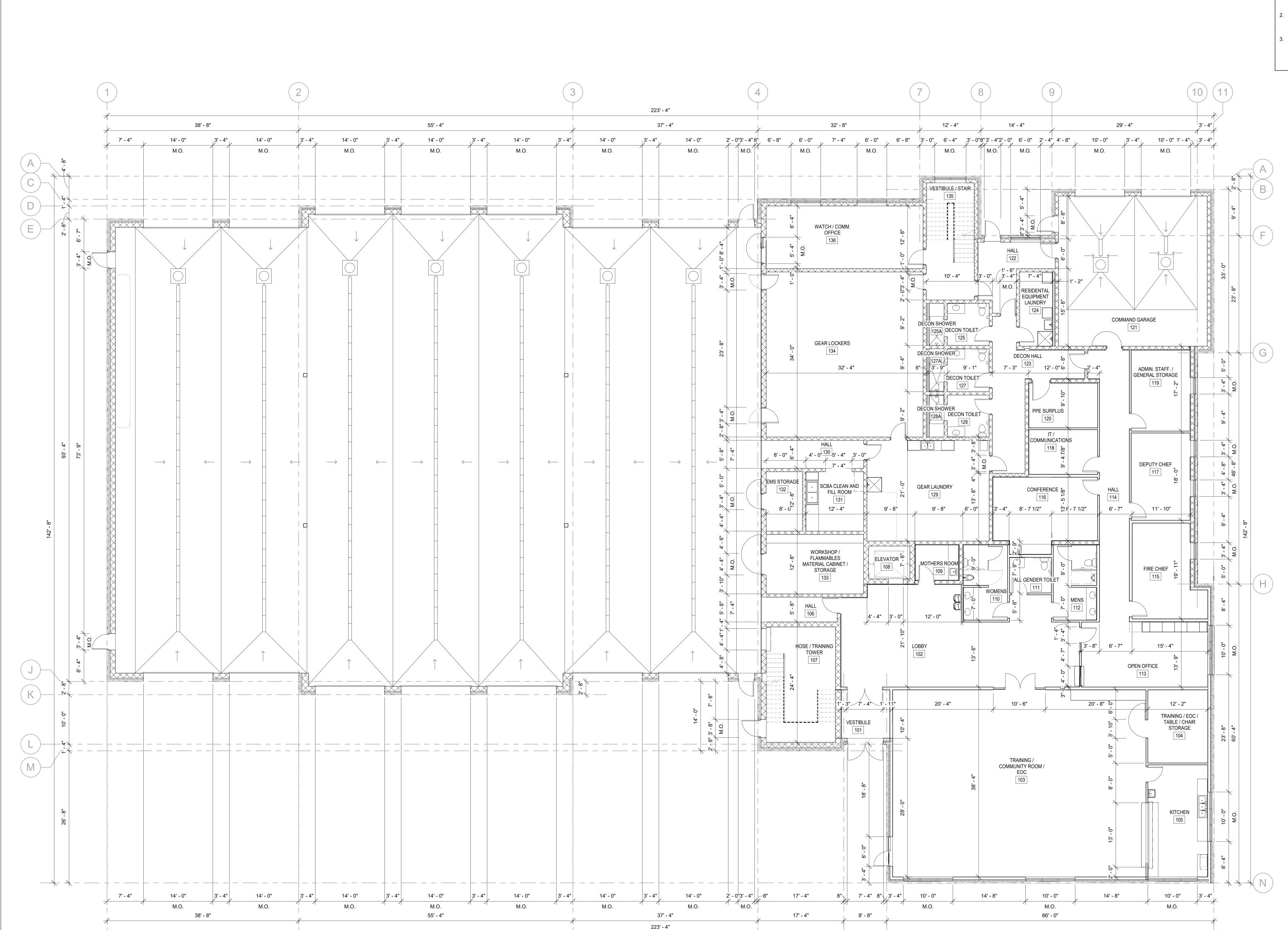
jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS

ALTERNATE BASEMENT

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 DWN. KDS PROJ. No. 608901



GENERAL DIMENSIONAL PLAN NOTES

. EXTERIOR DIMENSIONS:
1.1 EXTERIOR STUD WALLS: FACE OF EXTERIOR

TRUE NORTH N

SIDE OF STUD

1.2 MASONRY WALLS: OUTSIDE OF FINISHED WALL
SURFACE TO OUTSIDE OF FINISHED WALL
SURFACE.

1.3 OPENINGS: INSIDE FACE OF OPENING.
INTERIOR DIMENSIONS:
2.1 STUD WALLS: FACE OF STUD, NOMINAL.
2.2 CMU WALLS: FACE OF CMU, NOMINAL.
2.2 OPENINGS: INSIDE FACE OF OPENING.

2.2 OPENINGS: INSIDE FACE OF OPENING.
DOOR DIMENSIONS:
3.1 CMU HINGE SIDE OF DOOR FRAMES IN WALLS
SHALL BE 8" FROM PERPENDICULAR WALL LING

SHALL BE 8" FROM PERPENDICULAR WALL, UNO.

3.2 GYP. BD. HINGE SIDE OF DOOR FRAMES IN SHALL BE 6" FROM PERPENDICULAR WALL, UNO.

PLATTEVILLE FIRE STATION

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

_

SCHEMATIC DESIGN

wendel Five Bugles Design

204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

PROJECT TEAM

Wendel Architecture, P.C

ARCHITECT
WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701

877.293.6335
leysnogle@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593

161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5060
matt.haase@jsdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS

NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995 tom@nce-duluth.com

375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER

MECHANICAL

NATHANIEL NIVER

WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
jrauen@wendelcompanies.com

NOTE:

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO. REVISIONS DATE

FIRST FLOOR DIMENSION
PLAN

DATE

O 1" 2"

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE

O4.07.2023

SCALE As indicated

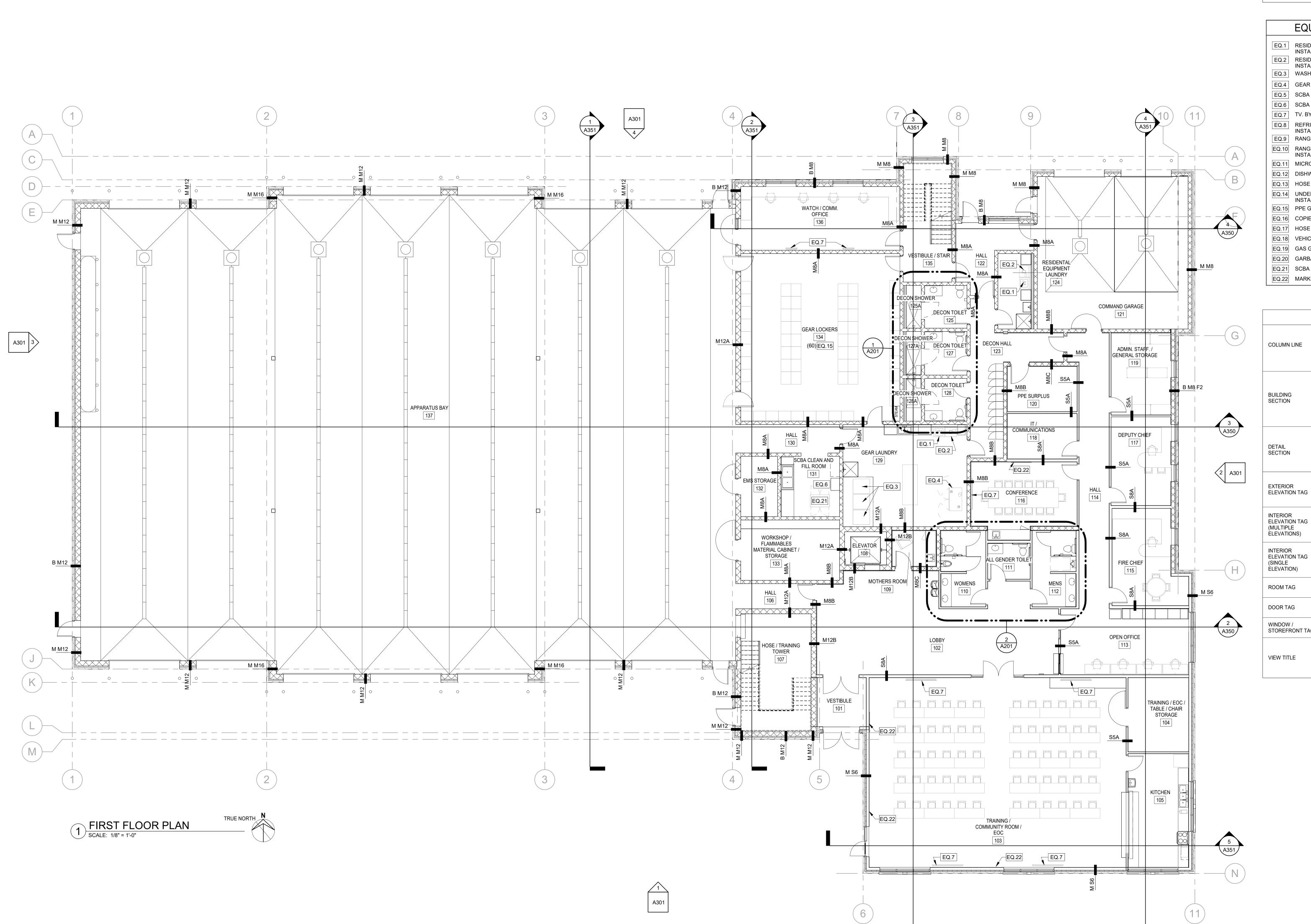
DWN. KDS

CHK. LAE

PROJ. No. 608901

DWG. No.

A111



GENERAL CONSTRUCTION NOTES

A. FIRE EXTINGUISHERS

(FE) = WALL MOUNTED □ (FEC) = RECESSED IN WALL

B. COORDINATE WITH OWNER BEFORE GYPSUM BOARD

FIRE BLANKET

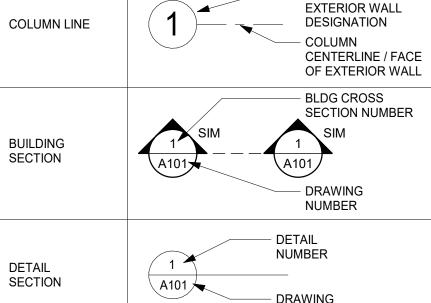
- INSTALLATION FOR ANY WOOD BLOCKING REQUIRED FOR OWNER PROVIDED EQUIPMENT.
- REFER TO STRUCTURAL DRAWINGS FOR EXACT LOCATIONS OF COLUMNS. SEE SHEET G002 FOR CODE PLAN AND LOCATIONS OF
- FIRE RATED CONSTRUCTION. CONSTRUCTION NOTES LISTED ON SHEETS A102, A103 AND 104 ARE TYPICAL TO THOSE SHEETS. SOME NOTES MAY
- NOT BE REFERENCED ON EACH SHEET. MOVEMENT JOINTS
- → = CMU CONTROL JOINT (24'-0" O.C. MAX) REFER TO SPECIFICATIONS.
- ALL PARTITIONS, INCLUDING ACCOUSTICAL INSULATION (IF REQUIRED), SHALL EXTEND TO ROOF / FLOOR DECK

EQUIPMENT KEY NOTES

ABOVE, UNLESS NOTED OTHERWISE.

- EQ.1 RESIDENTIAL WASHING MACHINE. BY OWNER OWNER
- EQ.2 RESIDENTIAL DRYING MACHINE. BY OWNER OWNER
- EQ.3 WASHER / EXTRACTOR. BY OWNER OWNER INSTALL
- EQ.4 GEAR DRYER. BY OWNER OWNER INSTALL
- EQ.5 | SCBA COMPRESSOR. BY OWNER OWNER INSTALL
- EQ.6 SCBA FILL STATION. BY OWNER OWNER INSTALL
- EQ.7 TV. BY OWNER OWNER INSTALL
- EQ.8 REFRIGERATOR / FREEZER. BY OWNER OWNER
- EQ.9 RANGE. BY OWNER OWNER INSTALL
- EQ.10 RANGE HOOD. BY CONTRACTOR CONTRACTOR
- EQ.11 MICROWAVE. BY OWNER OWNER INSTALL EQ.12 DISHWASHER. BY OWNER - OWNER INSTALL
- EQ.13 HOSE HOIST. BY CONTRACTOR CONTRACTOR INSTALL
- EQ.14 UNDER COUNTER REFRIGERATOR. BY OWNER OWNER
- EQ.15 PPE GEAR LOCKERS. BY OWNER OWNER INSTALL
- EQ.16 COPIER. BY OWNER OWNER INSTALL
- EQ.17 HOSE CART. BY OWNER OWNER INSTALL EQ.18 VEHICLE EXHAUST. BY OWNER - OWNER INSTALL
- EQ.19 GAS GRILL. BY OWNER OWNER INSTALL
- EQ.20 GARBAGE / RECYCLING
- EQ.21 SCBA EXTRACTOR. BY OWNER OWNER INSTALL
- EQ.22 MARKER BOARD. BY OWNER OWNER INSTALL

DRAWING SYMBOLS



- COLUMN / FACE OF

- DRAWING NUMBER ELEVATION NUMBER - DRAWING NUMBER - ELEVATION NUMBERS - DRAWING NUMBER

ELEVATIONS) ELEVATION NUMBERS **ELEVATION TAG** ELEVATION) ROOM NAME **→** ROOM NAME ROOM NUMBER 101 **→** DOOR NUMBER

WINDOW / STOREFRONT STOREFRONT TAG - PLAN, SECTION OR DETAIL NUMBER √ View Name 1/8" = 1'-0" SCALE

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE

STATION

SCHEMATIC DESIGN

204 E. Grand Avenue, Suite 200

Eau Claire, WI 54701 www.wendelcompanies.com

p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200

EAU CLAIRE, WI 54701

leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com

161 HORIZON DR., SUITE 101

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP

102 SOUTH 21st AVENUE WEST, SUITE 1

JSD PROFESSIONAL SERVICES, INC.

877.293.6335

CIVIL ENGINEER

MATT HAASE, PE

VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

TOM RINES, PE

218.727.5995

MECHANICAL

877.293.6335

DULUTH, MN 55806

tom@nce-duluth.com

NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

NATHANIEL NIVER

877.293.6335

ELECTRICAL

JOHN RAUEN

877.293.6335

WENDEL

nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION

375 ESSJAY ROAD, SUITE 200

nniver@wendelcompanies.com

375 ESSJAY ROAD, SUITE 200

jrauen@wendelcompanies.com

WILLIAMSVILLE, NY 14221

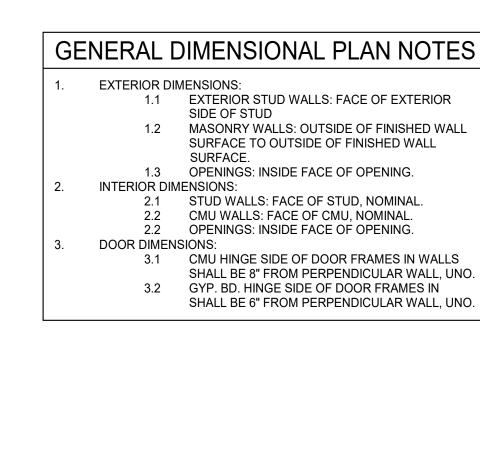
WILLIAMSVILLE, NY 14221

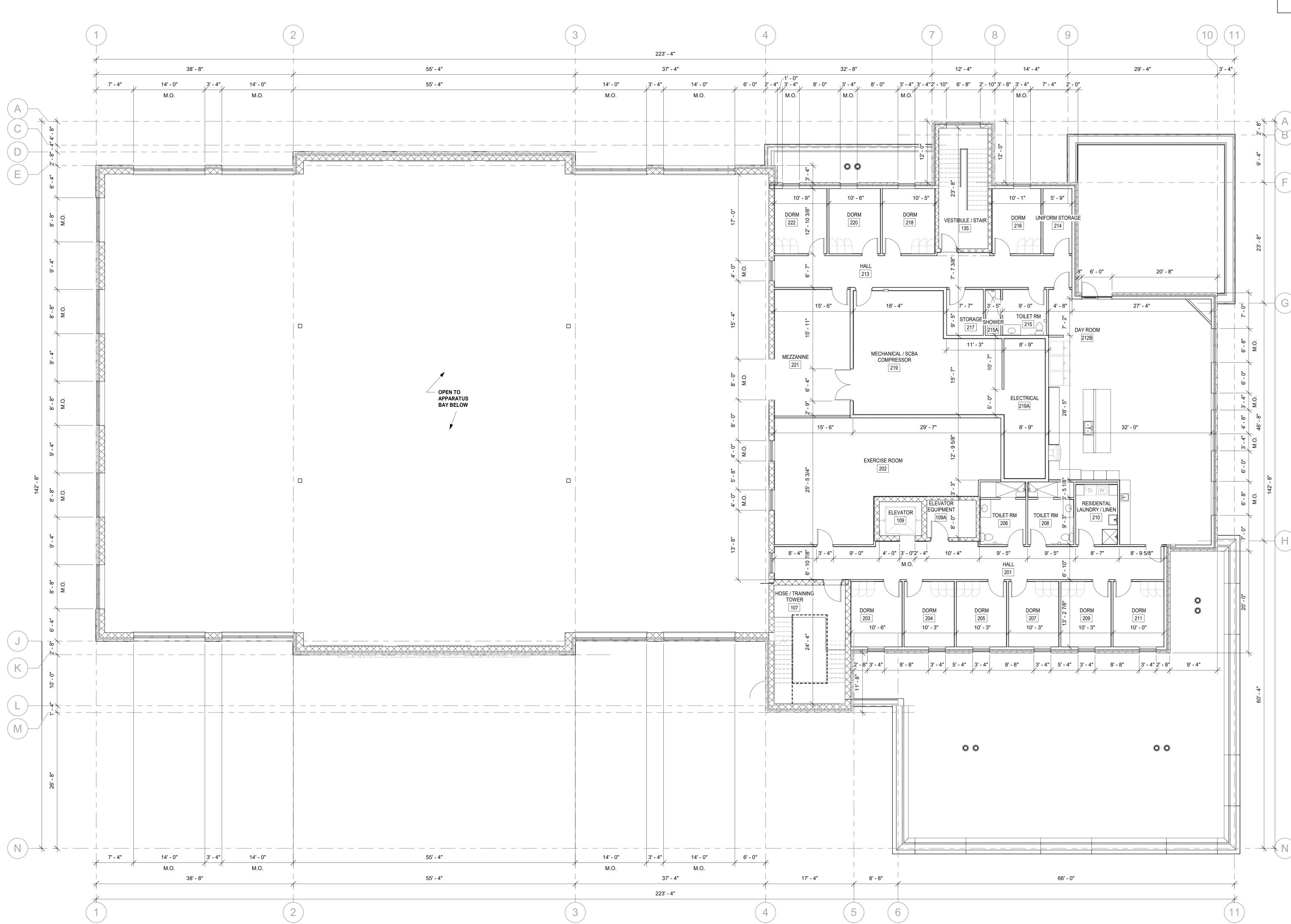
REVISIONS DWG. TITLE

FIRST FLOOR PLAN

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE As indicated DWN. KDS

PROJ. No. 608901







CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

<u>ARCHITECT</u> LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335 leysnogle@wendelcompanies.com

tschroeder@wendelcompanies.com

CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995 tom@nce-duluth.com

MECHANICAL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS
AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE
ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

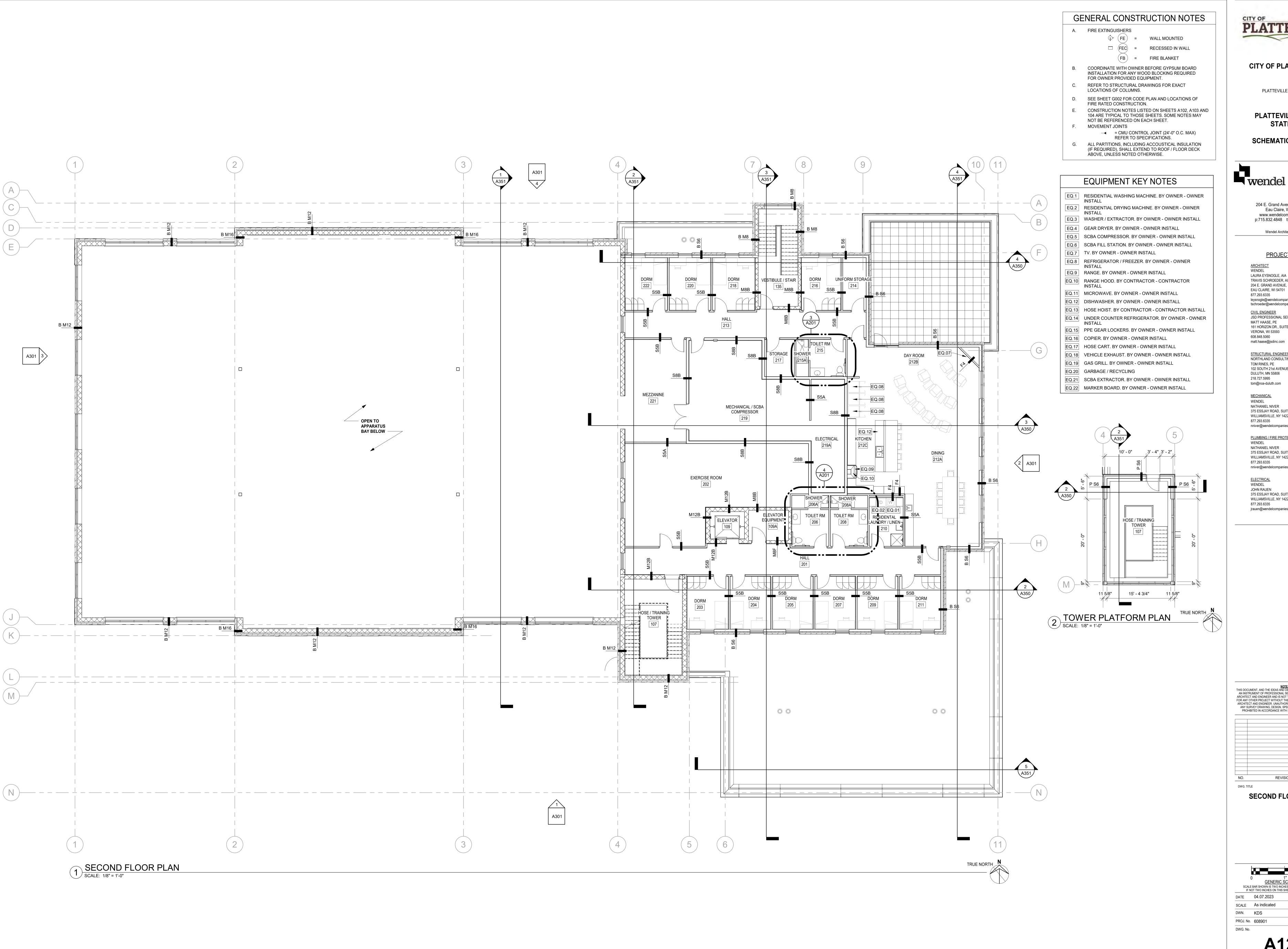
REVISIONS

SECOND FLOOR DIMENSION

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE As indicated DWN. KDS PROJ. No. 608901

TRUE NORTH N





CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com

p:715.832.4848 tf:877.293.6335 Wendel Architecture, P.C

PROJECT TEAM

LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200

EAU CLAIRE, WI 54701 877.293.6335 leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com

CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1

DULUTH, MN 55806 218.727.5995 tom@nce-duluth.com **MECHANICAL**

375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION

NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

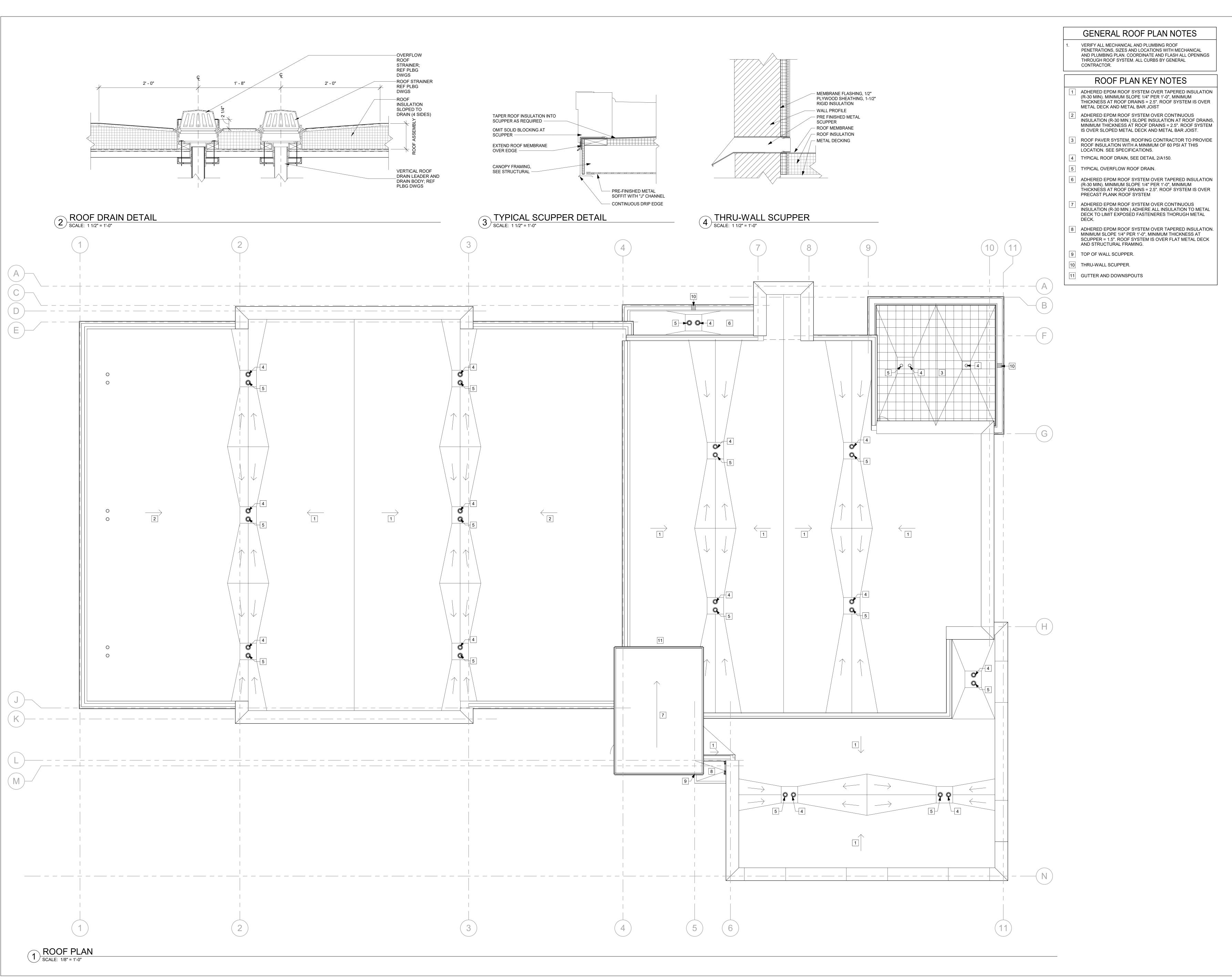
ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS
AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE
ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS

SECOND FLOOR PLAN

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE As indicated DWN. KDS





PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

<u>ARCHITECT</u>

LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701

877.293.6335 leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com **CIVIL ENGINEER**

JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995

MECHANICAL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200

tom@nce-duluth.com

WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION

NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335

ELECTRICAL WENDEL

nniver@wendelcompanies.com

JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

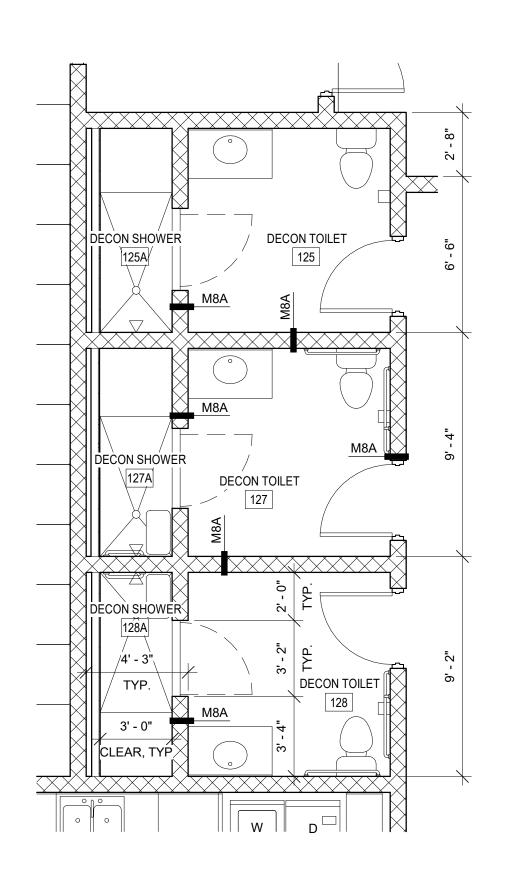
REVISIONS

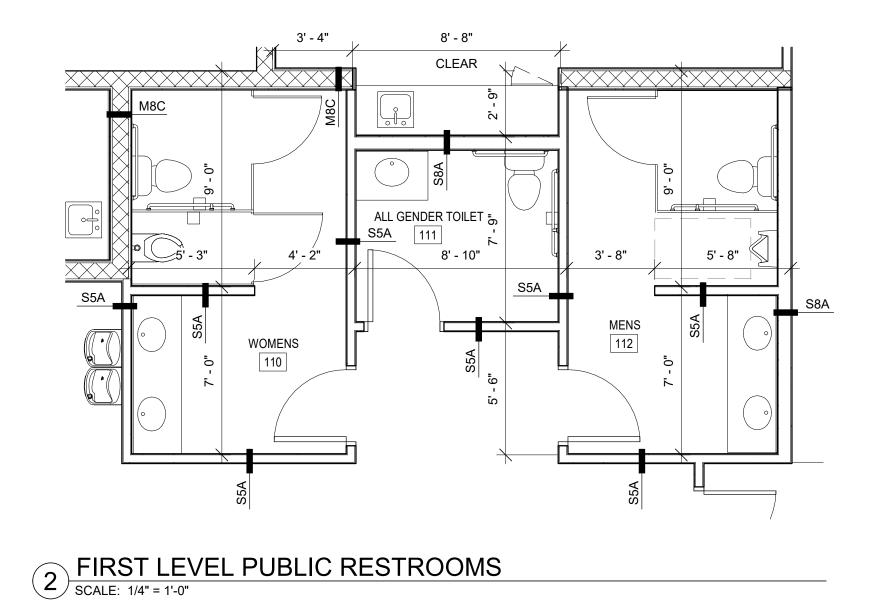
DWG. TITLE

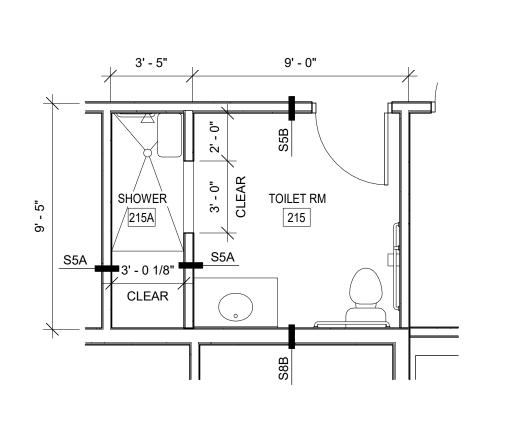
ROOF PLAN

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE As indicated

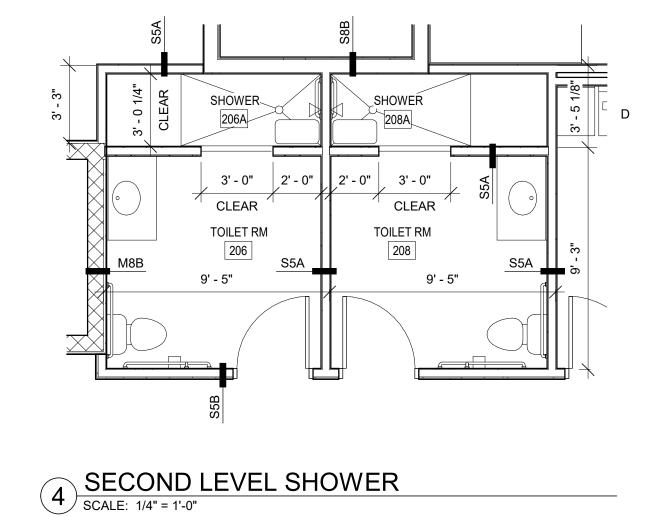
DWN. Author PROJ. No. 608901



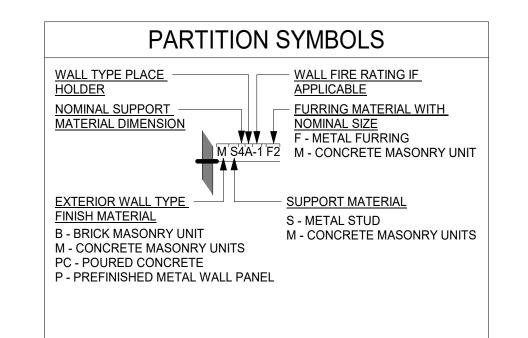


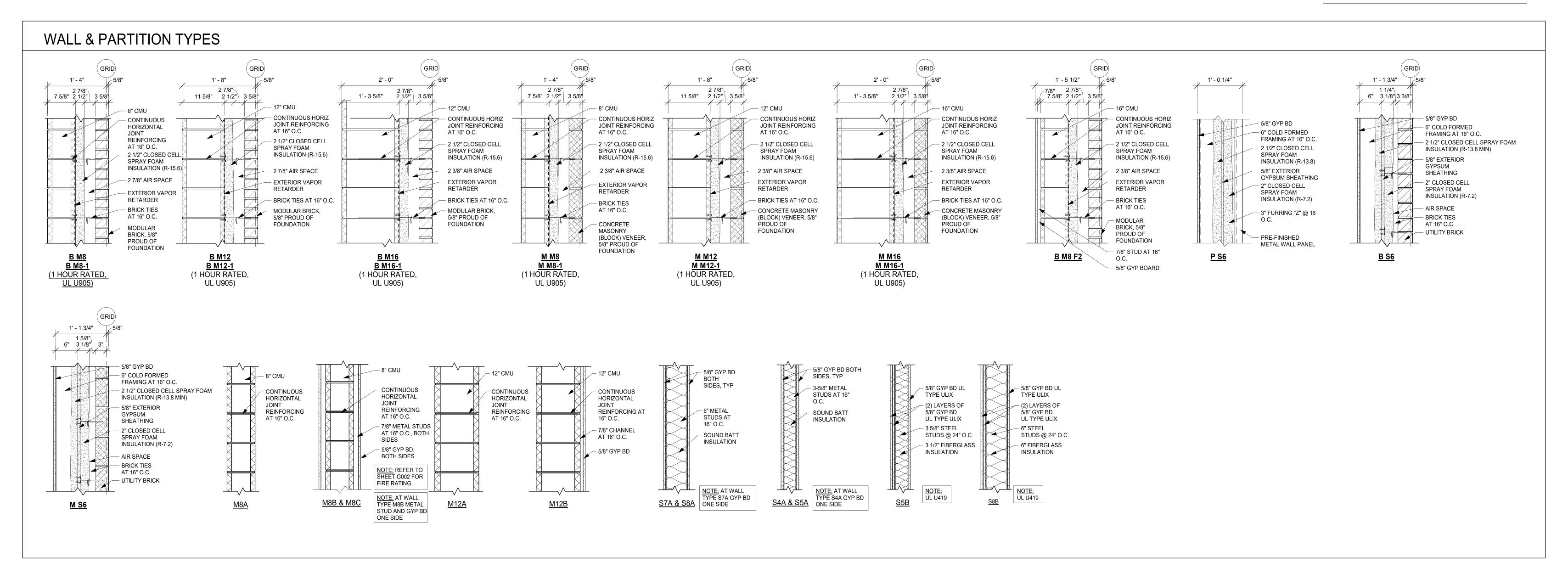


3 SECOND LEVEL SHOWER
SCALE: 1/4" = 1'-0"



1) FIRST LEVEL DECON TOILET / SHOWER SCALE: 1/4" = 1'-0"





PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

CITY OF PLATTEVILLE

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
leysnogle@wendelcompanies.com

tschroeder@wendelcompanies.com

CIVIL ENGINEER

JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5060

matt.haase@jsdinc.com

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995

tom@nce-duluth.com

MECHANICAL

WENDEL

NATHANIEL NIVER

375 ESSJAY ROAD, SUITE 200

WILLIAMSVILLE, NY 14221

nniver@wendelcompanies.com

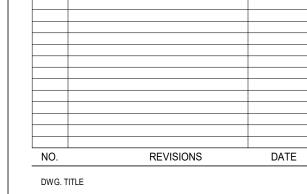
PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335

nniver@wendelcompanies.com

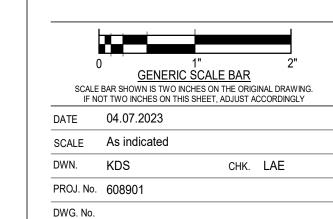
877.293.6335

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
jrauen@wendelcompanies.com

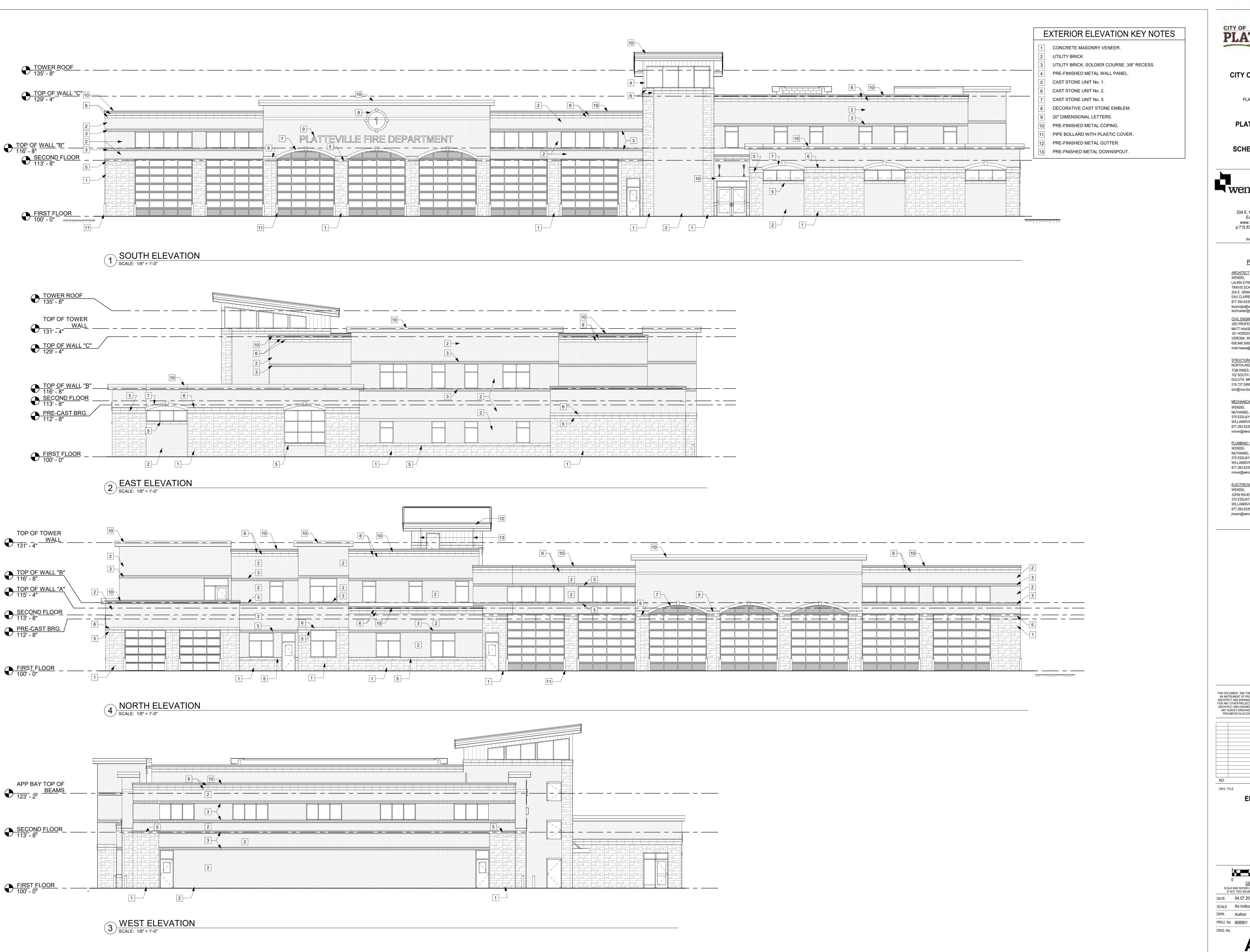
NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.



ENLARGED PLANS



A201



PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

ARCHITECT WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335

leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com CIVIL ENGINEER JSD PROFESSIONAL SERVICES, INC.

MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995 tom@nce-duluth.com

WENDEL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

<u>MECHANICAL</u>

PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

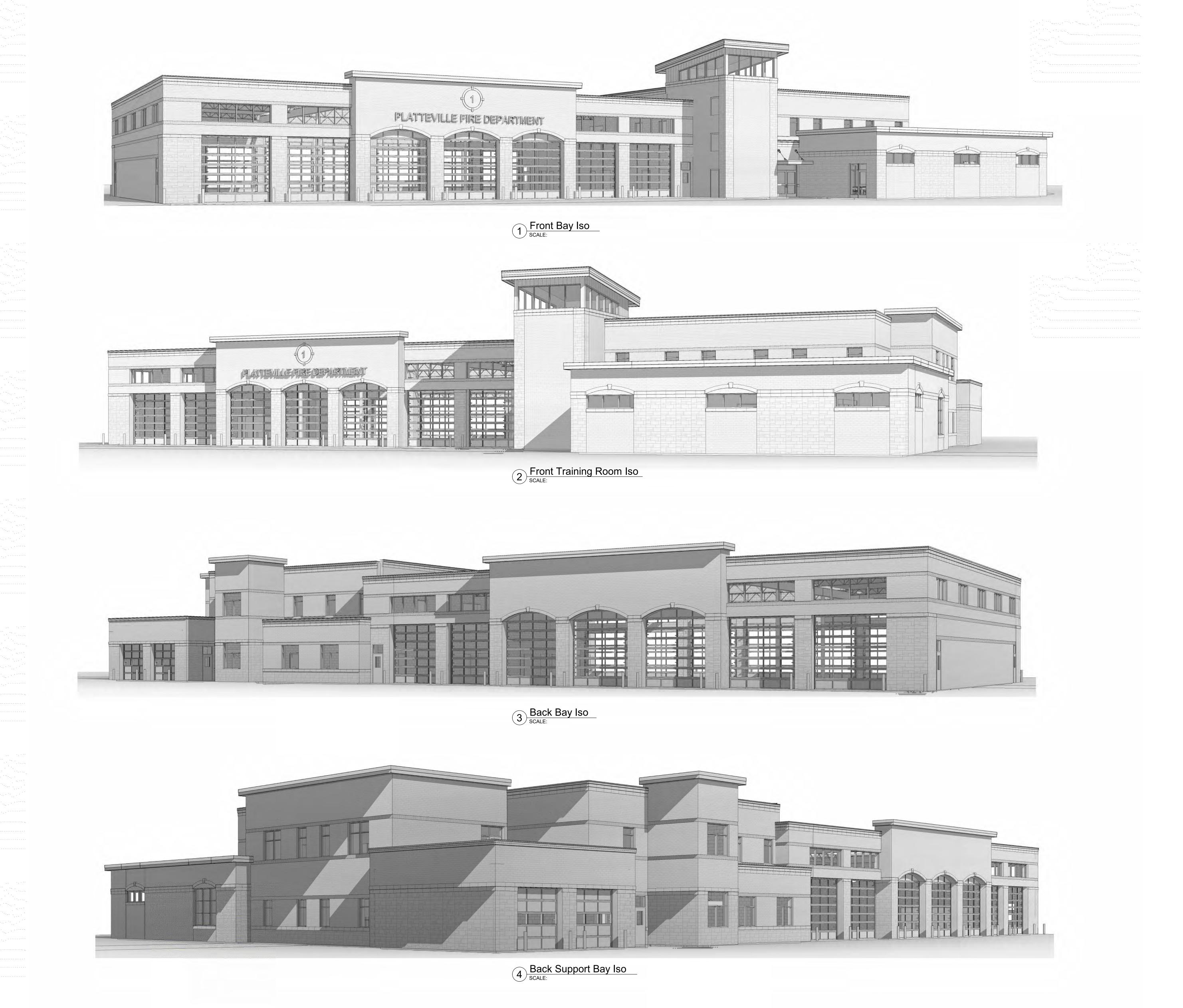
ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS DWG. TITLE

ELEVATIONS

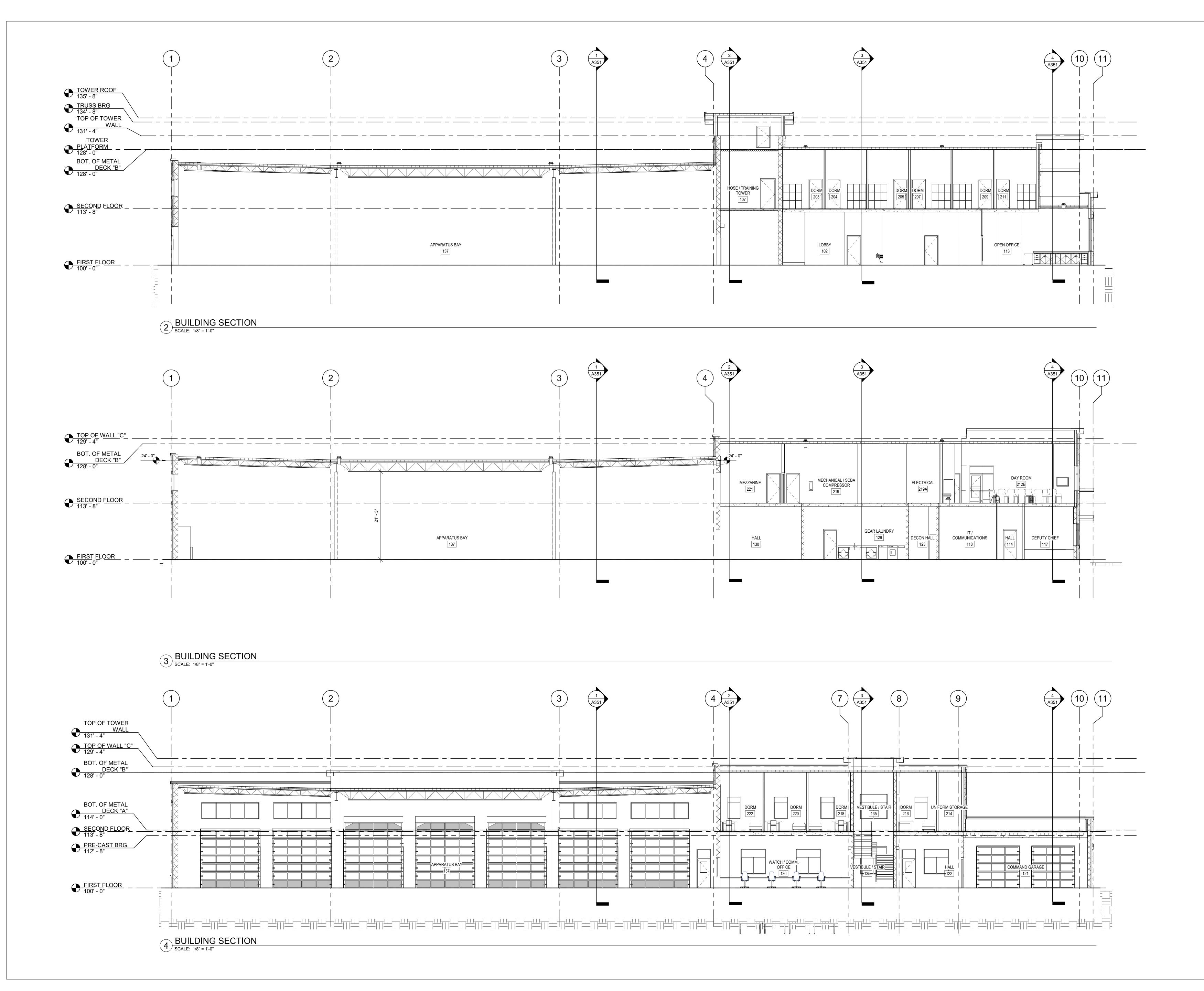
SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE As indicated DWN. Author



PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN - 04.07.2023
PLATTEVILLE, WI 53818
PROJECT NUMBER: 608901







PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

ARCHITECT WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701

204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335 leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5060
matt.haase@jsdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995

MECHANICAL WENDEL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200

tom@nce-duluth.com

WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION WENDEL

NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO. REVISIONS DA

BUILDING SECTIONS

0 1" 2"

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 04.07.2023

SCALE 1/8" = 1'-0"

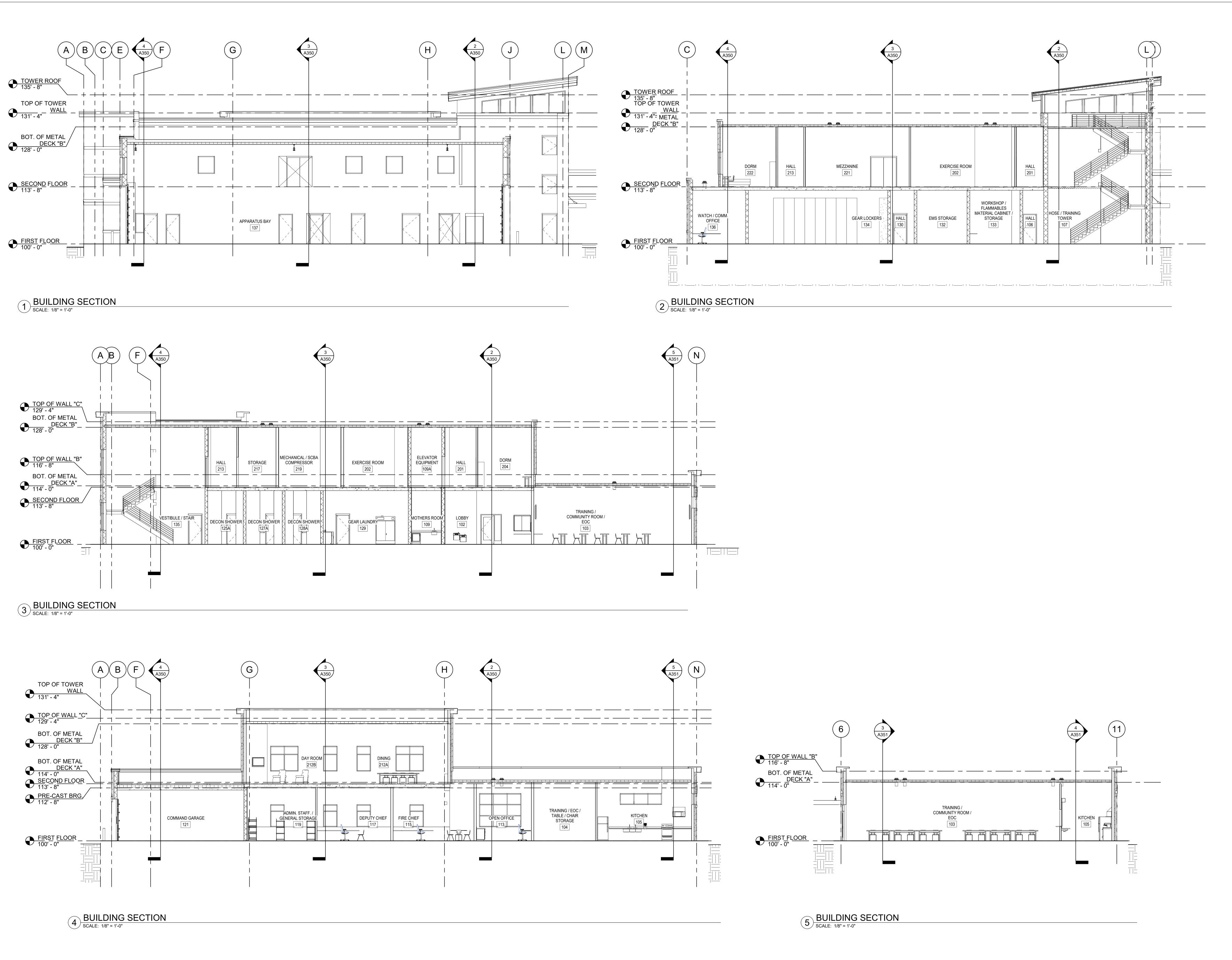
DWN. Author

PROJ. No. 608901

DWG. No.

A350

CHK. Checker



PLATTEVILLE, WI 53818

PLATTEVILLE FIRE **STATION**

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335 Wendel Architecture, P.C

PROJECT TEAM

ARCHITECT WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335

leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com <u>CIVIL ENGINEER</u> JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593

608.848.5060

matt.haase@jsdinc.com STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806

218.727.5995 tom@nce-duluth.com <u>MECHANICAL</u> WENDEL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200

WILLIAMSVILLE, NY 14221

877.293.6335 nniver@wendelcompanies.com PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335

ELECTRICAL WENDEL JOHN RAUEN 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

nniver@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

REVISIONS DWG. TITLE

BUILDING SECTIONS

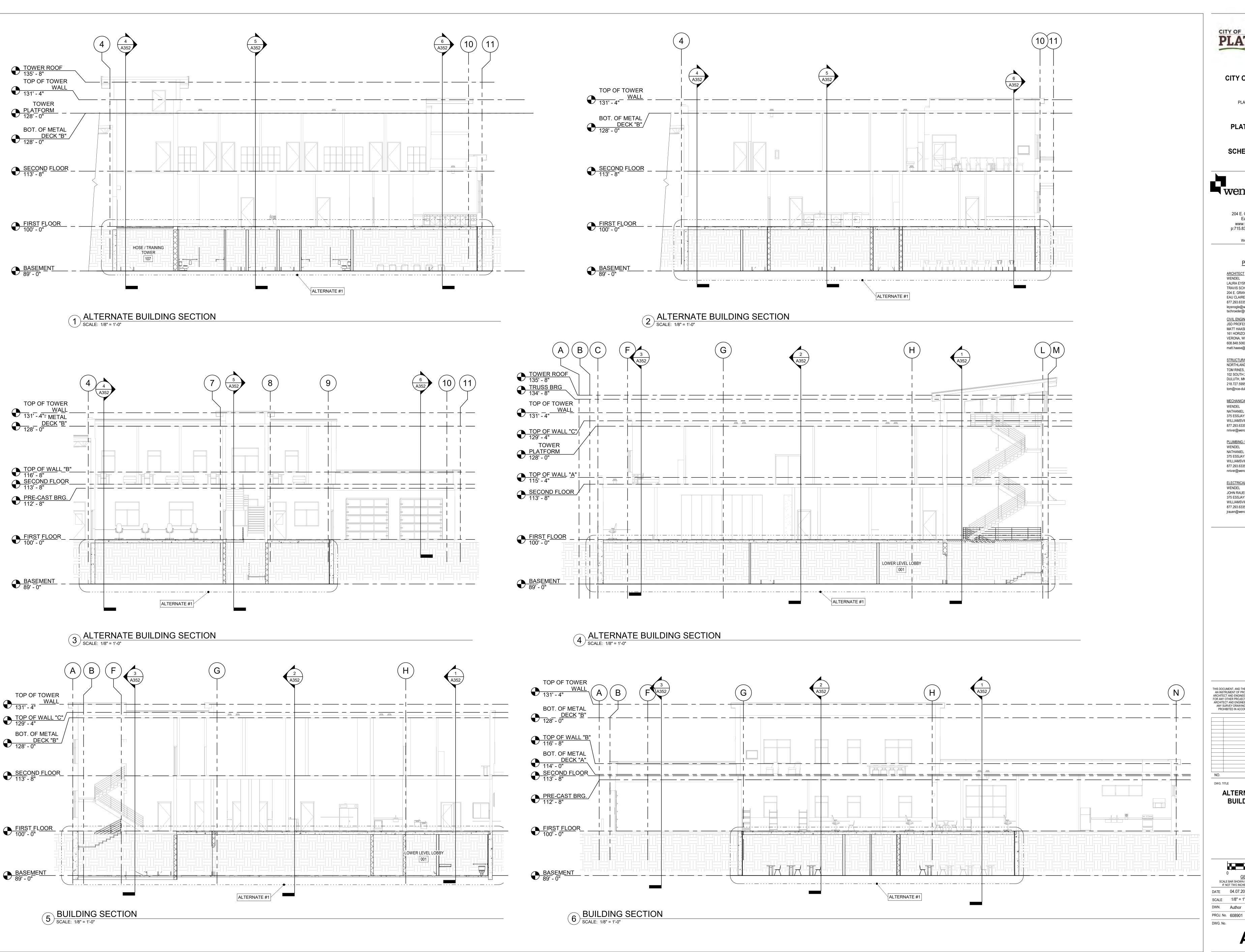
GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE 1/8" = 1'-0" DWN. Author

PROJ. No. 608901 DWG. No.

A351

CHK. Checker



PLATTEVILLE

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

PROJECT TEAM

ARCHITECT
WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
leysnogle@wendelcompanies.com

tschroeder@wendelcompanies.com

CIVIL ENGINEER

JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5060
matt.haase@jsdinc.com

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995
tom@nce-duluth.com

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
jrauen@wendelcompanies.com

NOTE:

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THI ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PAFFOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF TARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORPANCE WITH STATE LAW CODE AND PULLES.

NO. REVISIONS DATE

ALTERNATE BASEMENT
BUILDING SECTIONS

O 1" 2"

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

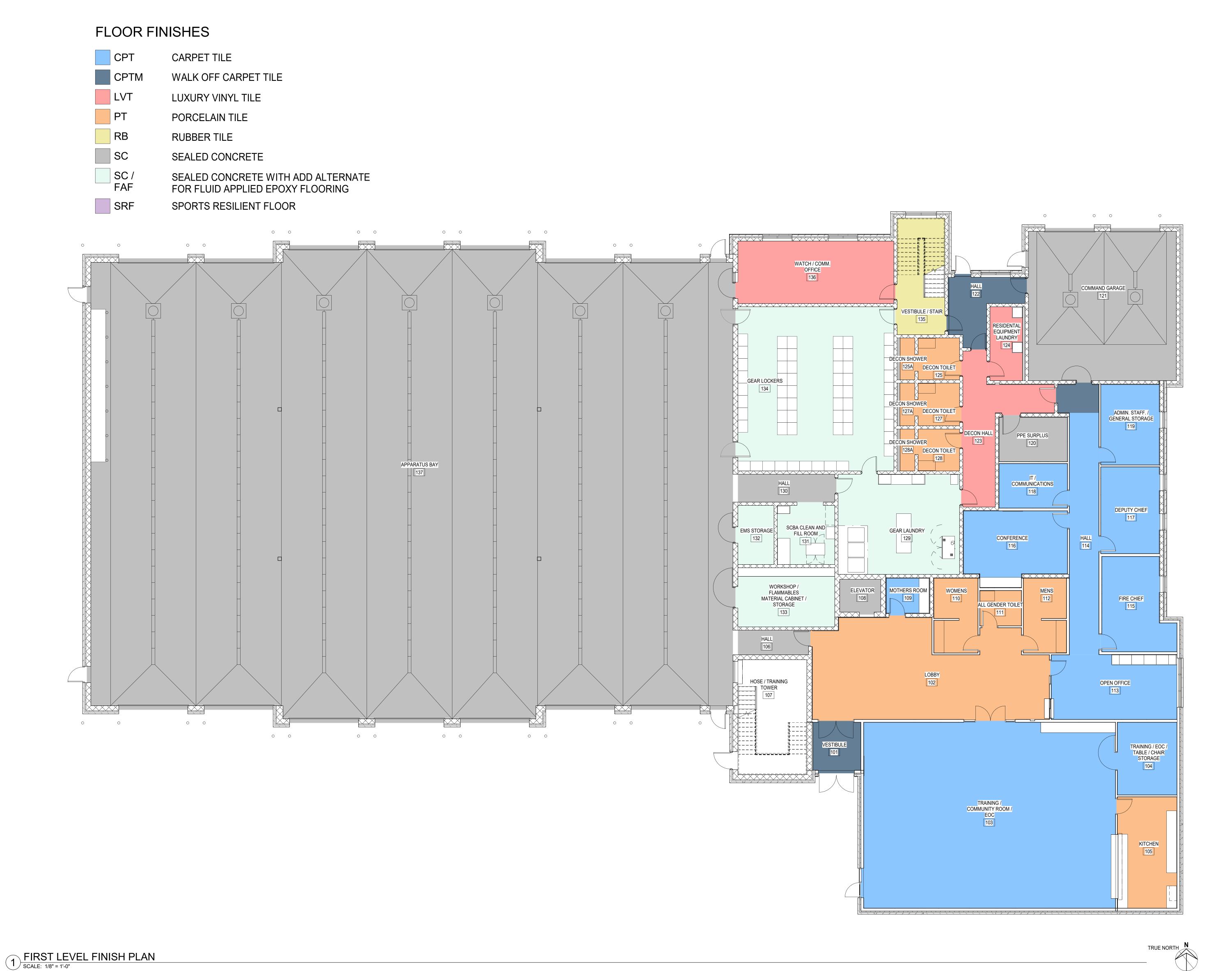
DATE 04.07.2023

SCALE 1/8" = 1'-0"

A 0 F 0

CHK. Checker

A352



PLATTEVILLE

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

www.wendelcompanies.com p:715.832.4848 tf:877.293.633

PROJECT TEAM

PROJECT TEAM

WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335

leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com <u>CIVIL ENGINEER</u> JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593

608.848.5060
matt.haase@jsdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1

DULUTH, MN 55806
218.727.5995
tom@nce-duluth.com

MECHANICAL
WENDEL
NATHANIEL NIVER

WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200

WILLIAMSVILLE, NY 14221

877.293.6335

877.293.6335

375 ESSJAY ROAD, SUITE 200

nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221

jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO. REVISIONS

FIRST FLOOR FINISH PLAN

DATE

O 1" 2"

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 04.07.2023

SCALE 1/8" = 1'-0"

DWN. Author CHK. Checker

PROJ. No. 608901

101

FLOOR FINISHES

CPT CARPET TILE LVT LUXURY VINYL TILE **PORCELAIN TILE RUBBER TILE** SEALED CONCRETE SRF SPORTS RESILIENT FLOOR



SECOND LEVEL FINISH PLAN

SCALE: 1/8" = 1'-0"



CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE **STATION**

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

ARCHITECT WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701

877.293.6335 leysnogle@wendelcompanies.com tschroeder@wendelcompanies.com

<u>CIVIL ENGINEER</u> JSD PROFESSIONAL SERVICES, INC. MATT HAASE, PE 161 HORIZON DR., SUITE 101 VERONA, WI 53593 608.848.5060 matt.haase@jsdinc.com

STRUCTURAL ENGINEER NORTHLAND CONSULTING ENGINEERS, LLP TOM RINES, PE 102 SOUTH 21st AVENUE WEST, SUITE 1 DULUTH, MN 55806 218.727.5995

<u>MECHANICAL</u> WENDEL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200

tom@nce-duluth.com

WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 nniver@wendelcompanies.com

ELECTRICAL WENDEL JOHN RAUEN

375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221 877.293.6335 jrauen@wendelcompanies.com

NOTE:

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

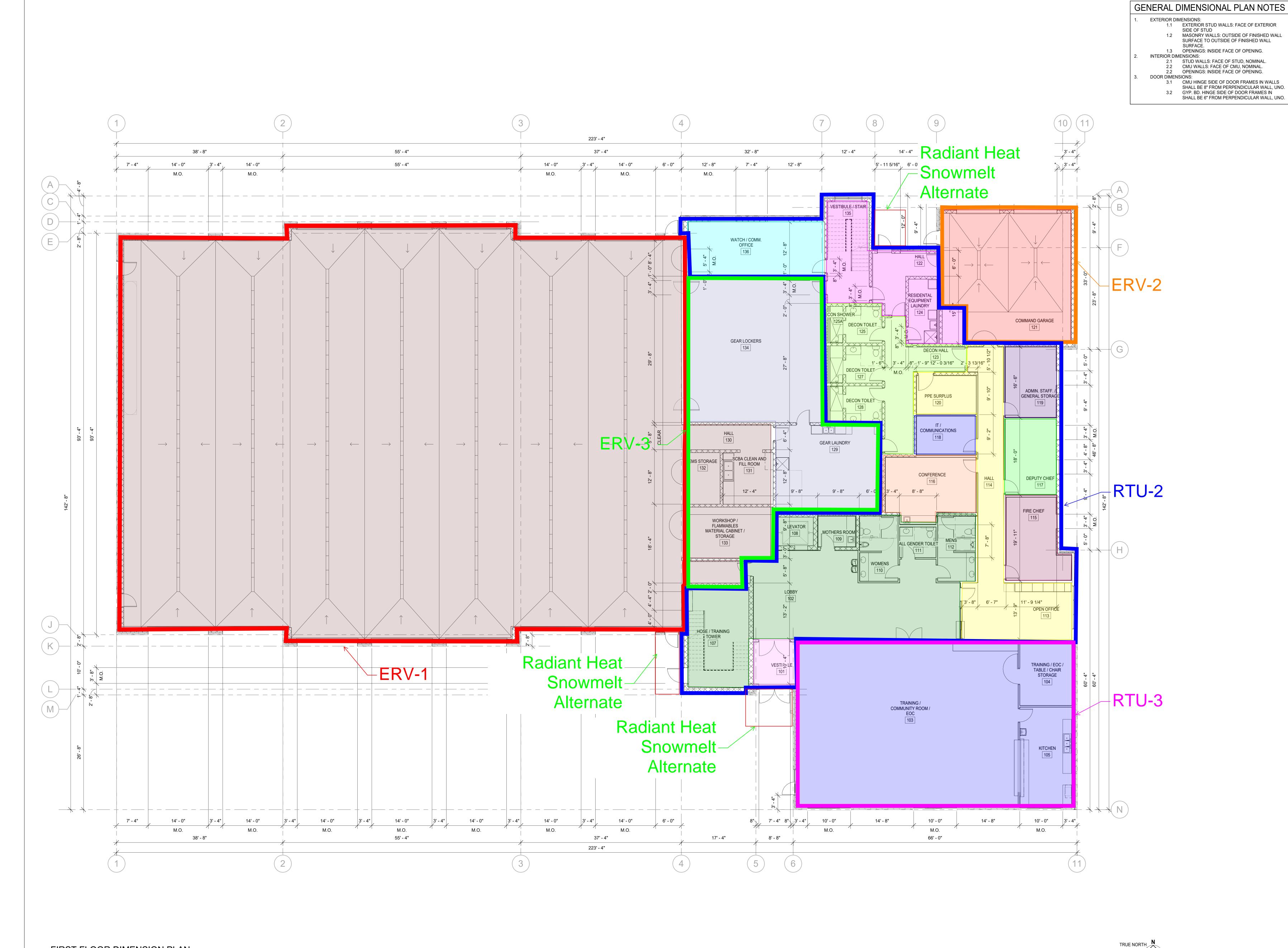
DATE REVISIONS

DWG. TITLE SECOND FLOOR FINISH PLAN

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY DATE 04.07.2023 SCALE 1/8" = 1'-0" DWN. Author CHK. Checker

PROJ. No. 608901





PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

ARCHITECT

WENDEL
LAURA EYSNOGLE, AIA
TRAVIS SCHROEDER, AIA
204 E. GRAND AVENUE, SUITE 200
EAU CLAIRE, WI 54701
877.293.6335
leysnogle@wendelcompanies.com

tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5060
matt.haase@jsdinc.com

STRUCTURAL ENGINEER
NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995

MECHANICAL
WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221

tom@nce-duluth.com

877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL

NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
jrauen@wendelcompanies.com

NOTE:

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO. REVISIONS DATE

FIRST FLOOR DIMENSION
PLAN

O 1" 2"

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING. IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 02.28.2023

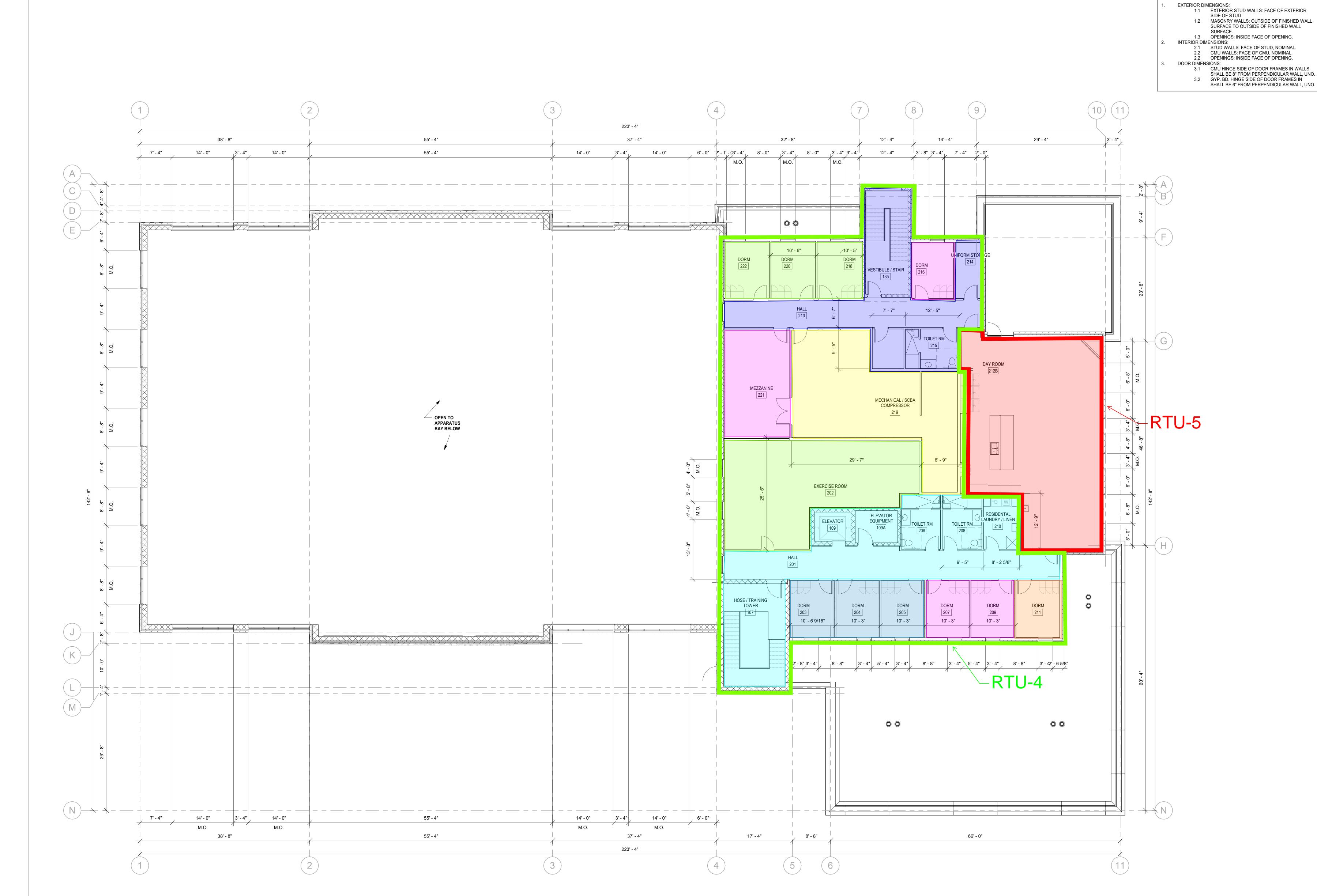
SCALE As indicated

DWN. KDS CHK. LAE

PROJ. No. 608901

DWG. No.

Δ111



PLATTEVILLE

GENERAL DIMENSIONAL PLAN NOTES

CITY OF PLATTEVILLE

PLATTEVILLE, WI 53818

PLATTEVILLE FIRE STATION

SCHEMATIC DESIGN



204 E. Grand Avenue, Suite 200 Eau Claire, WI 54701 www.wendelcompanies.com p:715.832.4848 tf:877.293.6335

Wendel Architecture, P.C

PROJECT TEAM

CHITECT

ARCHITECT WENDEL LAURA EYSNOGLE, AIA TRAVIS SCHROEDER, AIA 204 E. GRAND AVENUE, SUITE 200 EAU CLAIRE, WI 54701 877.293.6335

leysnogle@wendelcompanies.com
tschroeder@wendelcompanies.com

CIVIL ENGINEER
JSD PROFESSIONAL SERVICES, INC.
MATT HAASE, PE
161 HORIZON DR., SUITE 101
VERONA, WI 53593
608.848.5060
matt.haase@jsdinc.com

STRUCTURAL ENGINEER

NORTHLAND CONSULTING ENGINEERS, LLP
TOM RINES, PE
102 SOUTH 21st AVENUE WEST, SUITE 1
DULUTH, MN 55806
218.727.5995

MECHANICAL WENDEL NATHANIEL NIVER 375 ESSJAY ROAD, SUITE 200 WILLIAMSVILLE, NY 14221

tom@nce-duluth.com

877.293.6335
nniver@wendelcompanies.com

PLUMBING / FIRE PROTECTION
WENDEL

WENDEL
NATHANIEL NIVER
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
nniver@wendelcompanies.com

ELECTRICAL
WENDEL
JOHN RAUEN
375 ESSJAY ROAD, SUITE 200
WILLIAMSVILLE, NY 14221
877.293.6335
jrauen@wendelcompanies.com

NOTE:
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF THE ARCHITECT AND ENGINEER AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT AND ENGINEER. UNAUTHORIZED ALTERATION OR ADDITION TO ANY SURVEY DRAWING, DESIGN, SPECIFICATION, PLAN OR REPORT IS PROHIBITED IN ACCORDANCE WITH STATE LAW, CODE AND RULES.

NO. REVISIONS DA

SECOND FLOOR DIMENSION
PLAN

O 1" 2"

GENERIC SCALE BAR

SCALE BAR SHOWN IS TWO INCHES ON THE ORIGINAL DRAWING.
IF NOT TWO INCHES ON THIS SHEET, ADJUST ACCORDINGLY

DATE 02.28.2023

SCALE As indicated

DWN. KDS CHK. LAE

PROJ. No. 608901

TRUE NORTH N

Δ121

Opinion of Probable Construction Cost



April 13, 2023





Platteville, Wisconsin

Schematic Construction Costs Summary:

Site Development	\$ 1,525,000
General Construction	\$ 7,775,000
Plumbing	\$ 650,000
Fire Protection	\$ 120,000
HVAC	\$ 1,100,000
Electrical	\$ 1,100,000
Misc. & Equipment	\$ 495,000
Construction Fee	\$ 355,000
Construction Subtotal	\$ 13,120,000
Contingency - 7.50%	\$ 1,000,000
Total Construction Schematic Budget	\$ 14,120,000
FF&E	\$ 350,000
Systems & Networking	\$ 150,000
Design & Engineering	\$ 847,000
Total Project Schematic Budget	\$ 15,467,000
Schematic Budget Options	
Unfinished Basement: Shell with precast ceiling and structural components only.	\$ 1,470,000 *
2. Finished Basement: Basement room build-out and finishes.	\$ 500,000 *
3. Finished 2nd floor: Room build-out and finishes.	\$ 875,000 *
4. Eliminate Community Room.	\$ (335,000) *
5. Value engineer north side overhead doors.	TBD
6. Decorative flake epoxy coating in apparatus bay.	\$ 105,000 *

^{*} Doesn't include additional owner soft costs.

Platteville Fire Station Platteville, WI

Schematic Budget

PROJECT DEVELOPMENT TEAM	Based on Schematic Dra	awings		
City of Platteville 5 Bugles Design	Dated February 28, 2023	3		
Wendel	First Floor:			
Kraemer Brothers	Apparatus Bay First Floor Services		12,615 10,745	
	Support Garage		1,050	SF
	Total Finished Area		24,410	SF
	2nd Floor:			
	2nd Floor Total Unfinished Area		8,705 8.705	SF SF
	Total Owner Asses		00.445	٥-
	Total Gross Area		33,115	эг
SITE DEVELOPMENT: Asbestos Testing & Abatement			By PFS	
Site Survey and Soil Borings			By PFS	
Geotechnical/Compaction Testing Mass Building Demolition			15,000.00 115,000.00	
Layout and Engineering Services			40,000.00	
Site Demo, Erosion Control, Grading, Earthwork, Baseco Storm Ponds, Site Utilities and Retaining Walls	ourse, Fine Grading, & Seedir	ng	900,000.00	
Concrete Paving			150,000.00	
Asphalt Paving Curb and Gutter			40,000.00 30,000.00	
Sidewalks and Misc. Site Concrete			180,000.00	
Flagpole and Bike Rack Allow. Retaining Wall Fencing			20,000.00 35.000.00	
Site Lighting			In Electrical	
Natural Gas, Electrical, or Data / Phone Services TOTAL SITE DEVELOPMENT		s	By PFS 1,525,000.00	-
		•	-,,	
GENERAL CONSTRUCTION: General Conditions, Supervision, Project Management, Technology, Printing, Mailing & Temp. Office Heat	Offices & Equipment, Dump	\$	880,000.00	
Site Barricades, Safety, OSHA Railings, Mockups, Testir			150,000.00	
Conc. Fdns., Rein. Steel, Excav. & Backfill, Rigid Insulati Slab-on-Grade, Sealed Concrete, Misc. Interior Conc			1,340,000.00	
Precast Concrete Plank and Topping			265,000.00	
Masonry Structural & Misc. Steel			2,065,000.00 1,020,000.00	
Rough Carpentry			185,000.00	
Caulking & Firestopping Roofing & Sheetmetal			90,000.00 430,000.00	
Fluid Applied Air Barrier & Sprayfoam Cavity Wall Spray Fireproofing			160,000.00 None	
Metal Siding & Trims			50,000.00	
Doors, Frames, Hardware Sectional Overhead Doors			185,000.00 500,000.00	
Aluminum Entrances, Windows and Glazing			150,000.00	
Skylights Steel Studs, Drywall & Acoustical Insulation			None 55,000.00	
Carpet, Vinyl, Ceramic Flooring and Shower Tile			115,000.00	
Fluid Applied Epoxy Flooring Acoustical Ceilings			None 35,000.00	
Painting			90,000.00	
Misc. Items & Specialties TOTAL GENERAL CONSTRUCTION		\$	10,000.00 7,775,000.00	-
MECHANICAL/ELECTRICAL:				
Fire Protection		\$	120,000.00	
Plumbing HVAC			650,000.00 1,100,000.00	
Electrical, Fire Alarm, Security Electronics			1,100,000.00	_
TOTAL MECHANICAL/ELECTRICAL		\$	2,970,000.00	
MISC. & EQUIPMENT:				
Finish Carpentry, Casework, Millwork Display Case / Historic Gear Showcase Area Allow.		\$	130,000.00 20,000.00	
Dedication Plaque, Interior and Exterior Signage Allow.			25,000.00	
Kitchen and Laundry Equipment Elevator			By PFS 100,000.00	
Bathroom Partitions and Accessories			15,000.00	
Visual Display Boards Window Treatments Allow.			By PFS 15,000.00	
Lockers			By PFS	
FF&E and Items Identified as Owner Furnished Builder's Risk Insurance			By PFS By PFS	
Permit Fees General Liability Insurance			By PFS 70,000.00	
Performance & Payment Bonds			120,000.00	
TOTAL MISC. & EQUIPMENT		\$	495,000.00	='
CM Fee 2.75%		\$	355,000.00	_
CONSTRUCTION SUB-TOTAL		\$	13,120,000.00	-
CONTINGENCY 7.5%		\$	1,000,000.00	
TOTAL CONSTRUCTION SCHEMATIC BUDGET 4/13/2023		\$	14,120,000.00	=
PFS FF&E PFS SYSTEMS & NETWORKING		\$ \$	350,000.00	
PFS SYSTEMS & NETWORKING PFS DESIGN & ENGINEERING 6.0%		\$	150,000.00 847,000.00	
TOTAL PROJECT SCHEMATIC BUDGET 4/13/2023		\$	15,467,000.00	=

SCHEMATIC BUDGET

Schematic Budget Options

Y/N/HOLD

TOTAL P	ROJECT SCHEMATIC BUDGET W/ ACCEPTED OPTIONS		\$	
ESTIMAT	ED ADDITIONAL SOFT COSTS FOR ACCEPTED OPTIONS		\$	
TOTAL CONSTRUCTION SCHEMATIC BUDGET W/ ACCEPTED OPTIONS \$				
6.	Decorative flake epoxy coating in apparatus bay.	Add	\$	105,000.00
5.	Composite filled overhead door panels in lieu of all glass at the North side of the building only. This continues the same designed overhead doors at the command garage.	Deduct	\$	TBD
4.	Eliminate Community Room.	Deduct	\$	<335,000.00>
3.	Finished 2 nd Floor: Room build-out and finishes.	Add	\$	875,000.00
2.	Finished Basement: Basement room build-out and finishes.	Add	\$	500,000.00
1.	Unfinished Basement: Shell with precast ceiling and structural Components only.	Add	\$ ^	1,470,000.00

SCHEMATIC BUDGET

Schematic Budget Inclusions

1. AREA DATA:

a.	Apparatus Bay	12,615 SF
b.	First Floor Services	10,745 SF
C.	Support Garage	1,050 SF
d.	2 nd Floor Mezz. (Unfinished)	8,705 SF
Total Construction Area		33,115 SF

ALLOWANCES

a.	Flagpole and Bike Rack	\$ 20.000.00
b.	Display Case/Historic Gear Showcase Area	\$ 20,000.00
C.	Dedication Plaque, Interior and Exterior Signage	\$ 25,000.00
d.	Window Treatments	\$ 15,000.00
	TOTAL ALLOWANCES	\$ 60.000.00

- 3. A construction contingency of \$1,000,000.00 is included herein.
- 4. Unsuitable soils removals and undercuts were assumed at bearing wall footings and pads as recommended by CVT's geotechnical report dated January 17, 2023.
- 5. Mass demolition of the existing OE Gray school structure and associated site. Assumes the building will be vacated of school furnishings, fixtures, equipment and general contents. Major equipment and construction is assumed to be included within the demolition contract and is assumed to be the property of the successful demolition contractor after a final pre-bid walk-through is completed.
- 6. Mass excavation, haul-off, and tipping fees for unusable cut clay material based on preliminary site layout "Option No. 1" provided on April 5, 2023.
- 7. Structural cast-in-place retaining wall and offset footing at east building foundation wall. Modular engineered concrete retaining walls at various areas are included as required by site layout Option No. 1 provided on April 5, 2023.
- 8. CMU walls at all first floor partitions. We have only included steel stud and drywall partitions for basement and mezzanine level buildouts provided in options.
- 9. CMU backup walls at currently scheduled load bearing steel stud walls at community room area.
- 10. Exterior heavy duty paving to consist of 8" slabs with 5#/CY of structural fibers.
- 11. Interior slab on grade of apparatus bay to consist of 7" slabs with 5#/CY of structural fibers.
- 12. Interior slab on grade of other interior slabs to consist of 4" slabs with 3#/CY of structural fibers.
- 13. Apparatus Bay and Support Garage slabs include Dayton Pentra-Hard densifier with Pentra-Hard Guard sealer topcoat.
- 14. Exterior landscaping package will consist of fully established green spaces. This includes fine grading, seeding, fertilizing, straw mulching, and erosion fabric in steep slope or high-volume drainage areas to establish seeding. Temporary irrigation systems or watering, including water usage is not included.
- 15. Performance & Payment Bonds.
- 16. Temporary power, including usage fees until substantial completion of the project is achieved.
- 17. Temporary heating, including usage fees during construction.
- 18. Final cleaning services and washing of glass.
- 19. Assumes design bid packages and construction schedule based on the following:
 - a. August 15, 2023- Raze Existing Structure
 - b. September 15, 2023- Building Foundations Commence
 - c. December 1, 2024- Substantial Completion

SCHEMATIC BUDGET

Schematic Cost Exclusions

- 1. Financing costs.
- 2. Architectural/engineering fees, or State of Wisconsin approval fees.
- 3. All-Risk" Builder's Risk Insurance; any deductible to be assumed by building owner.
- 4. Sales and use tax. We have assumed this is a tax exempt project and will comply with State tax-exempt laws
- 5. Site survey and soil borings cost.
- 6. Undercut and replacement of unsuitable soils on site or within the building pad beyond extents described herein, removal and disposal of any underground storage tanks, debris or contaminated soils encountered during construction.
- 7. Pre-demolition survey, testing, and report required by DNR in order to pull a demolition permit.
- 8. Asbestos and lead testing or reports, temporary enclosures, containment or abatement, or handling and disposal of any asbestos or lead and such related costs.
- Rock excavation, trenching, or blasting of apparent bedrock conditions. We have assumed that all utility trenching or building excavation is within material that can excavated with an 80,000# tracked excavator.
- 10. Earth retention systems for base project budget. If the basement is pursued in the final design an earth retention system will be needed along the east elevation.
- 11. Decorative landscaping including trees, shrubs, plantings, edging, stone/mulch, edging or other enhanced landscape items. Only provide items required by the approved DNR erosion control or permanent grass seeding to establish green spaces.
- 12. Temporary irrigation systems or watering, including water usage.
- 13. Monumental site signs or structures.
- 14. Exterior snowmelt systems.
- 15. Costs resulting from subsequent plan reviews by Wisconsin DOC, Wisconsin DNR, or local jurisdiction(s) having plan review authority.
- 16. Cost of utility company or phone company charges for service, connections and fees for Internet, telephone, and fiber optic services.
- 17. Communications towers or structures to support said technology.
- 18. 2-way communication systems, repeaters, alerting systems, whistles, strobes, or any other emergency specific systems.
- 19. Reverse osmosis purified water systems of any kind.
- 20. Pressure washing or vehicle washing systems.
- 21. Rooftop mechanical screening for any rooftop units.
- 22. Exterior sunshades.
- 23. Utility tapping fees.
- 24. Electric or gas utility service fees for extensions to new building. Sanitary, water, and storm extensions have been included.
- 25. Sewer, fire impact fees, or any other special assessments from municipalities or utilities.
- 26. Flooring moisture mitigation primers or sealers. RH tests will be conducted and any floors that exceed manufacturer's recommendations will need to be sealed at additional costs to the project.
- 27. Fireplaces.
- 28. Furnishings or installation of telephone equipment including wiring, all tele/data work, inmate kiosk systems, furniture, fixtures & fixed equipment.
- 29. Any items noted in equipment key notes as "By Owner or Owner Installed".
- 30. Interior decorative masonry walls or wall coverings, including tile work or backsplashes. We have assumed some wood treatments and associated trim upgrades at various areas based on preliminary photos provided in e-mail correspondence.
- 31. Furniture, office equipment, telephone systems, user based computer systems or cabling for same.
- 32. ABAA Quality Assurance Program inspections, or certifications for air barrier systems. Systems will be installed in accordance with ABAA standards, however inspections and certifications if desired will be the responsibility of others if desired.
- 33. Third-party commissioning or validation of mechanical or security systems.
- 34. Lightning protection or special grounding requirements.

PLATTEVILLE FIRE STATION

SCHEMATIC BUDGET

- 35. Wireless distribution antenna systems or emergency responder radio reinforcement systems. 36. Any additional costs related to Build America, Buy America (BABA).
- 37. Prevailing Wages.

Project Construction Schedule

Date of Commencement: August 15, 2023	
Date of Substantial Completion: December 1, 2024	
This proposal is hereby accepted.	
Bv:	
By: Kraemer Brothers, LLC	Date
D	
By: Platteville Fire Station	Date

THE CITY OF PLATTEVILLE, WISCONSIN COUNCIL SUMMARY SHEET

COUNCIL SECTION:

TITLE:

INFORMATION & DISCUSSION ITEM NUMBER:

CWF Loan 4419-11 Upgrade Emergency Generator

DATE
April 25, 2023
VOTE REQUIRED:
Majority

VIIII.C.

PREPARED BY: Howard B. Crofoot, P.E. Director of Public Works

Description:

The DNR has approved a Clean Water Fund (CWF) Loan with Principal Forgiveness for the Wastewater Treatment Plant Emergency Generator upgrade. This project will replace a generator that is over 40 years old that is incapable of powering the entire plant, just the critical pumps and minimum processes to meet codes. The new generator will be able to run the entire plant such that during an event like the 2014 tornado, the plant will produce exceptional waste discharge, not just the minimum standards.

The project total includes construction costs, design costs and loan administration costs. There is a breakout of project costs and loan details on the attached sheet including a timeline for executing the loan documents.

DNR uses the CWF to provide low-interest loans to communities to support wastewater system construction and major maintenance. In certain cases, they also provide Principal Forgiveness. In layman terms, it becomes a grant.

The City's utility financial advisor, Ehlers, has recommended CWF loans as a beneficial approach to funding capital expenditure due to low issuance costs, principal forgiveness (grant funding) and lower than market interest rates.

The City will be required to adopt a Municipal Obligation Resolution. There will be a Financial Assistance Agreement (FAA) between the City and DNR outlining the terms of the loan. At the May 9 meeting, we will have the Municipal Obligation Resolution, the FAA and other bond related documents. If the City follows the terms of the FAA, a large portion of the "loan" will not be paid back – called "principal forgiveness".

The actual documents will not be available until on or after May 2.

Budget/Fiscal Impact:

The total project cost will be spread out over multiple years due to the long lead time for getting a generator. Based on the contracted bid price, the engineering costs and loan administration costs, the project amount is \$1,954,400. Of that amount, there are ineligible costs that must be solely funded by the Water and Sewer utility of \$54,234. The remaining \$1,900,166 is eligible for CWF loans. This amount is split into a loan amount of \$1,330,116 over 20 years at a composite interest rate of 2.145% and a Principal Forgiveness (grant) amount of \$570,050.

Unlike bonds, CWF loans are non-prepayable. However, the interest rate is significantly lower than market rate.

If approved, the City has an outstanding invoice of over \$170,000 that can be reimbursed as soon as May 24.

Recommendation:

Staff recommends the Common Council adopt Resolution 23-xx, Municipal Obligation Resolution and approve the Bond related documents and Financial Assistance Agreement for Clean Water Fund project 4419-11 and authorize the appropriate officials to sign the documents.

Sample Affirmative Motion:

"Move to adopt Resolution 23-xx, Municipal Obligation Resolution and approve the Bond related documents and Financial Assistance Agreement for Clean Water Fund project 4419-11 and authorize the appropriate officials to sign the documents."

Attachments:

- CWF Project 4419-11 Schedule
- CWF Project 4419-11 Summary Distribution Sheet

Clean Water Fund Program Project No. 4419-11 City of Platteville Upgrade Emergency Generator Financial Assistance Agreement – Closing Schedule

By April 25:

 Department of Natural Resources (DNR) project manager distributes Financial Assistance Agreement (FAA) to Department of Administration (DOA) for review.

By May 2:

-- Quarles & Brady LLP distributes draft Municipal Obligation Resolution and other bond documents to the City of Platteville and DOA for review. Project manager mails FAA to municipality.

On May 9:

- -- Municipality holds properly noticed meeting at which time:
 - 1. Municipal Obligation Resolution is adopted.
 - 2. Bond related documents are signed by municipal officials.
 - 3. DNR FAA (printed single sided) is signed by municipal officials.

NOTE: Most documents must be signed by Highest Elected Official & Clerk/Secretary and some documents must have municipal seal applied. **Do not sign any Exhibits.**

By May 10: VIA OVERNIGHT DELIVERY:

- -- 1. Municipality scans FAA signature page and sends via e-mail to Quarles & Brady LLP and Kevin Olson.
 - 2. Municipality returns signed paper FAA via overnight delivery to Quarles & Brady LLP.
 - 3. Municipality delivers signed & sealed Resolution & other bond documents via overnight delivery to Quarles & Brady LLP.

By May 22:

 Quarles & Brady LLP sends final signed and sealed bond documents <u>and legal opinion</u> to DOA.

May 24:

 Loan Closing Day. Quarles & Brady LLP contacts municipality and DOA to confirm that closing may proceed, and DOA wire transfers the first disbursement to municipal bank account. Clean Water Fund Program Project No. 4419-11
City of Platteville
Upgrade Emergency Generator
Financial Assistance Agreement Summary
Distribution Sheet

FINANCIAL ASSISTANCE INFO

Total Project Amount: \$1,954,400

Principal Forgiveness Amount: \$570,050 Net CWFP Loan Amount: \$1,330,116

Internal Funding: \$54,234

Pledge: Water and Sewerage System Revenue Lien Priority: Senior-Parity

Composite Interest Rate: 2.145% Loan Term: 20 Years

DOCUMENT INFO

Date of Municipal Obligation Resolution – May 9, 2023

CLOSING INFO

Refinancing: None Date of Refinancing: N/A

Estimated First Disbursement: \$171,433.50

DISTRIBUTION

Department of Natural Resources

Kevin Olson
Bureau of Community Financial Assistance
101 South Webster Street, 2nd Floor
PO Box 7921
Madison WI 53707-7921
608-234-2238
kevin.olson@wisconsin.gov

Municipality

Barbara Daus City of Platteville 75 North Bonson Street Platteville WI 53818-0780 608-348-9741 barbaradaus@platteville.org

Municipal Bond Counsel

Rebecca Speckhard
Quarles & Brady LLP
411 East Wisconsin Avenue Suite 2400
Milwaukee WI 53202-4426
414-277-5000
rebecca.speckhard@quarles.com

Department of Administration

Andrea Ceron State of Wisconsin DOA Capital Finance Office 101 East Wilson Street, 10th Floor PO Box 7864 Madison WI 53707-7864 608-267-0374 Andrea.Ceron@wisconsin.gov

Engineering Firm

Matt Castillo MSA Professional Services, Inc. 1702 Pankratz Street Madison WI 53704-3133 608-242-7779 MCastillo@msa-ps.com